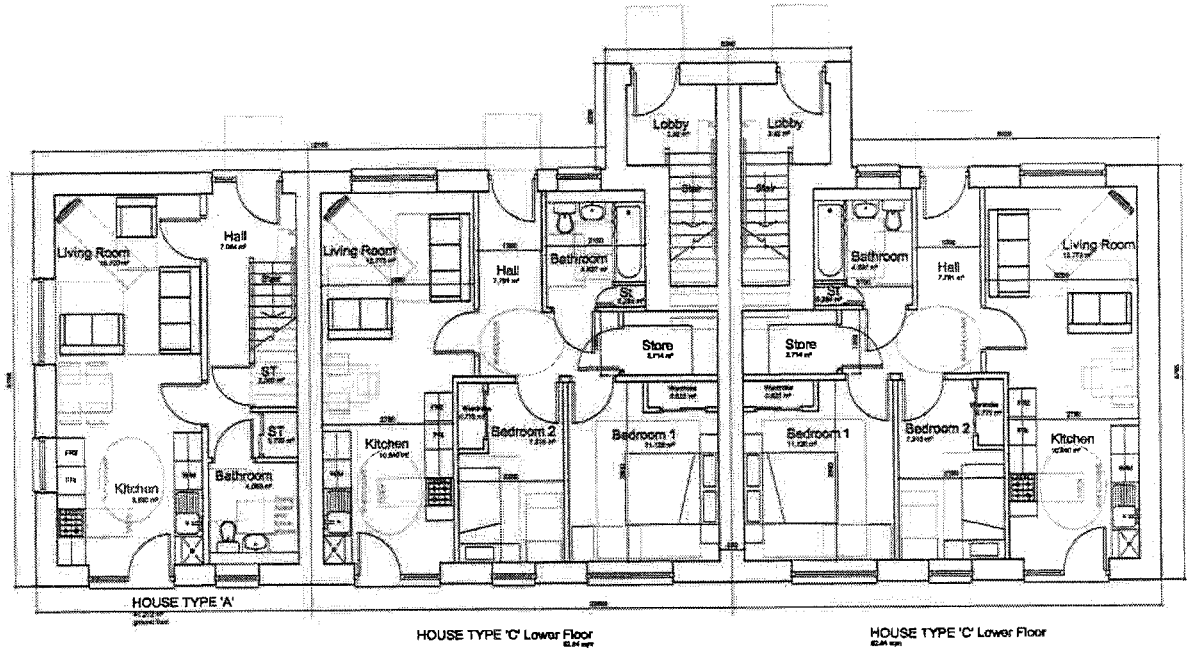

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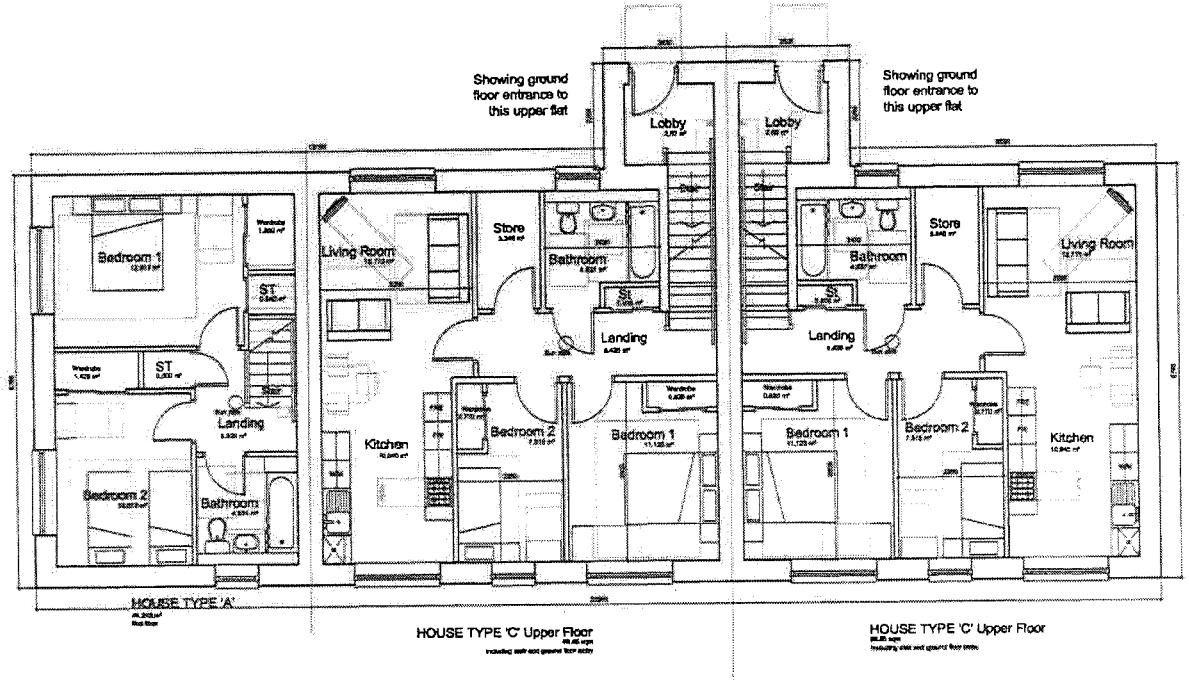
Contractor to check all sizes on site.
Contractor to confirm detailed finishes specification with client.

REV	NOTES	BY	DATE

THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 3114 FAX 0131 332 7806 EMAIL: edin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd
Project: Housing Development at West Quarter, Falkirk
Drawing: Block 1 : Ground Floor Plan.
Date: 30th April 2014 | Drawn By: CP | Scale: 1:100
Job No: 09-107 | Drawing No: 04



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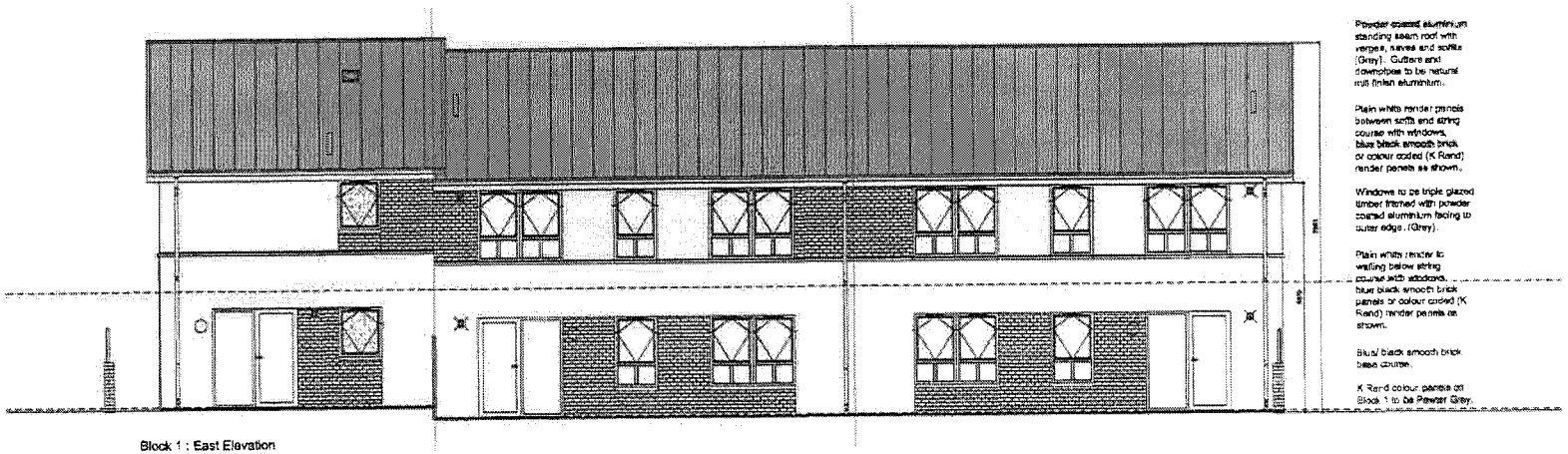
THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 3114 FAX 0131 332 7836 EMAIL: admin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd
Project: Housing Development at West Quarter, Falkirk.
Drawing: Block 1 : First Floor Plan.
Date: 30th April 2014 | Drawn By: CP | Scale: 1:100
Job No: 09-107 | Drawing No: 05



Block 1 : East Elevation

Powder coated aluminium standing seam roof with verges, eaves and soffits (Grey). Gutters and downpipes to be natural mill finish aluminium.

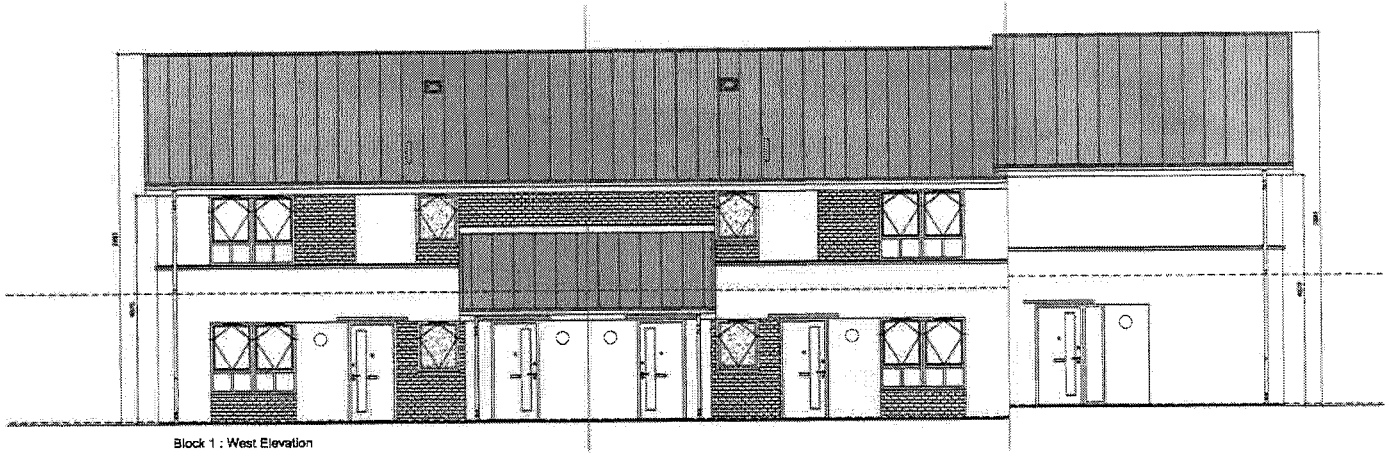
Plain white render panels between soffit and string course with windows, blue black smooth brick or colour coded (K Rend) render panels as shown.

Windows to be triple glazed timber framed with powder coated aluminium facing to outer edge. (Grey).

Plain white render to walling below string course with windows, blue black smooth brick panels or colour coded (K Rend) render panels as shown.

Blue/ black smooth brick base course.

K Rend colour panels on Block 1 to be Pewter Grey.



Block 1 : West Elevation

DRAWING STATUS: PLANNING

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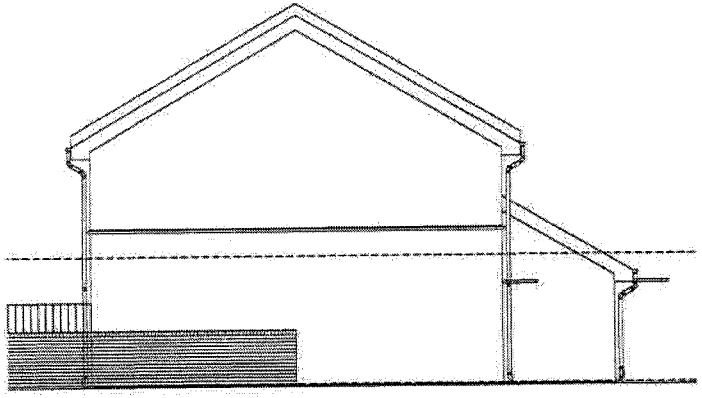
Contractor to confirm detailed finishes specification with client.

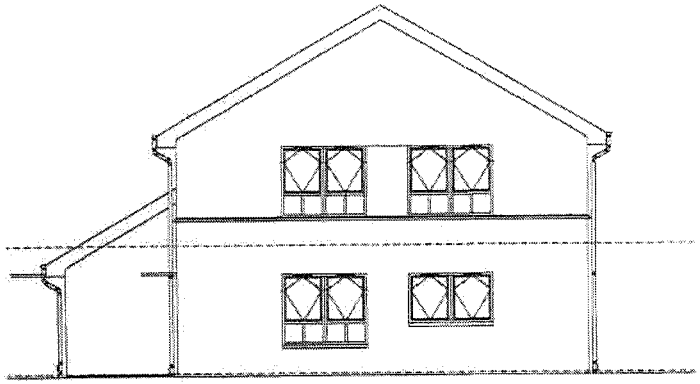
REV	NOTES	BY	DATE

THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 3114 FAX 0131 332 7836 EMAIL: edin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd
Project: Housing Development at West Quarter, Falkirk.
Drawing: Block 1 : East and West Elevations.
Date: 30th April 2014 | Drawn By: CP | Scale: 1:100
Job No: 09-107 | Drawing No: 06



Block 1 : North Elevation



Block 1 : South Elevation

DRAWING STATUS: PLANNING

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Contractor to confirm detailed finishes specification with client.

REV	NOTES	BY	DATE

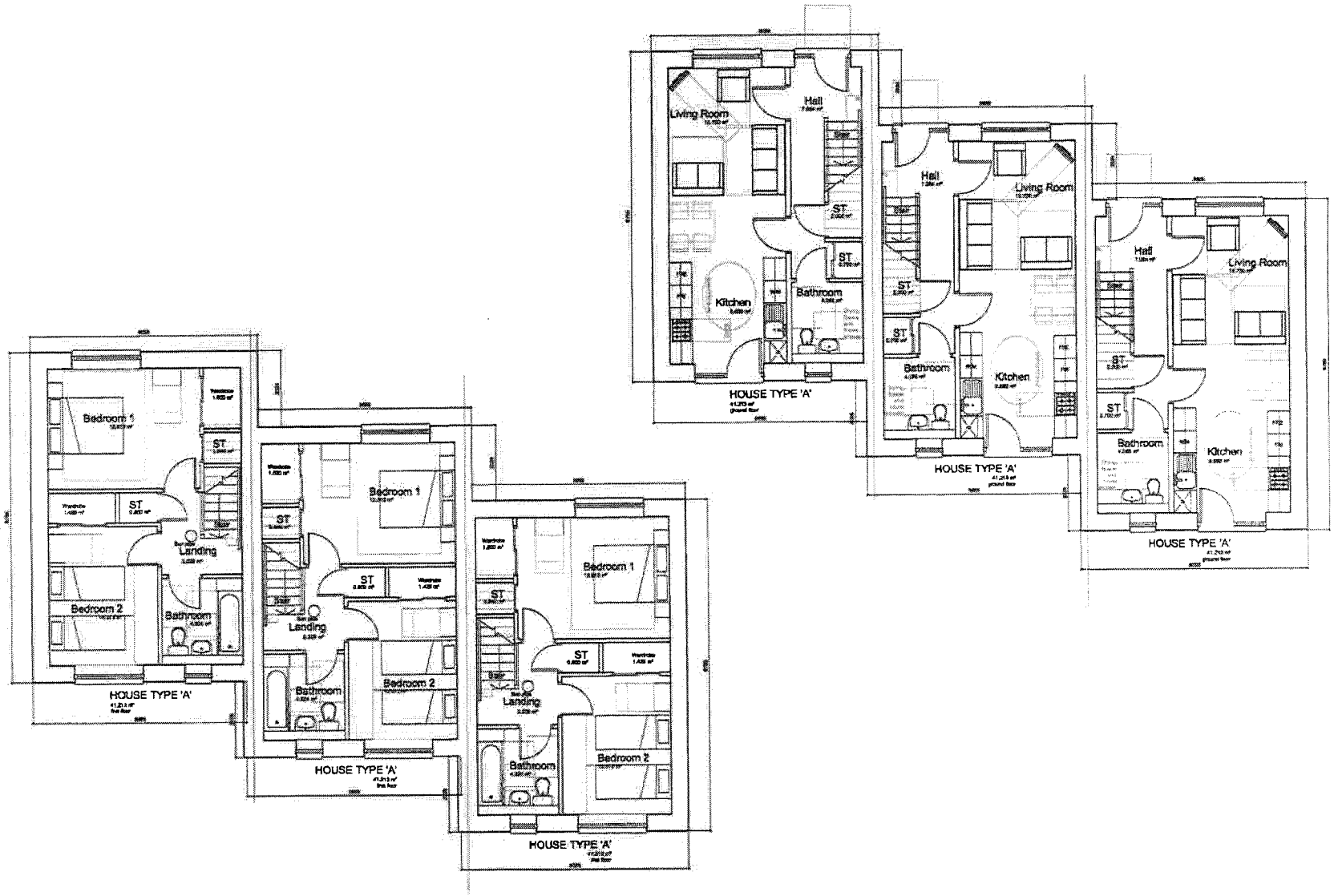
THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 3114 FAX 0131 332 7036 EMAIL: edin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd

Project: Housing Development at West Quarter, Falkirk.

Drawing: Block 1 : North and South Elevations.

Date: 30th April 2014	Drawn By: CP	Scale: 1:100
Job No: 09-107	Drawing No: 07	



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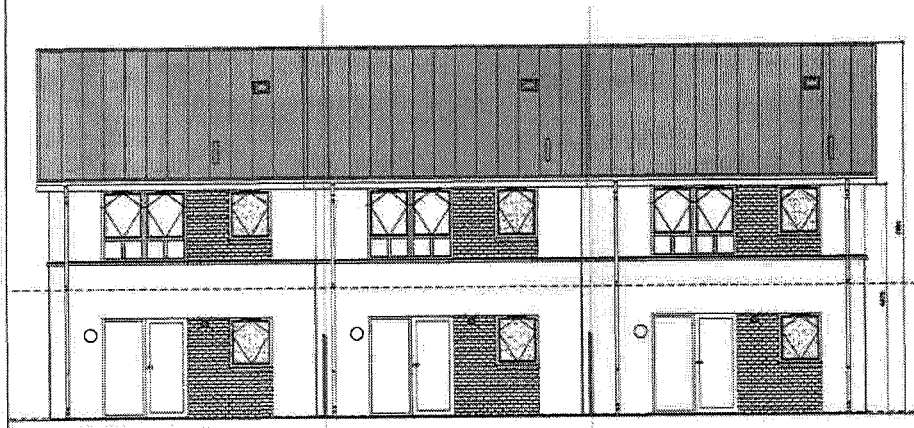
THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 3114 FAX 0131 332 7836 EMAIL: edin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd

Project: Housing Development at West Quarter, Falkirk.

Drawing: Block 2 : Ground and First Floor Plans.

Date: 30th April 2014	Drawn By: CP	Scale: 1:100
Job No: 09-107	Drawing No: 08	



Block 2 : East Elevation

Powder coated aluminium standing seam roof with verges, eaves and soffits (Grey). Gutters and downpipes to be natural mill finish aluminium.

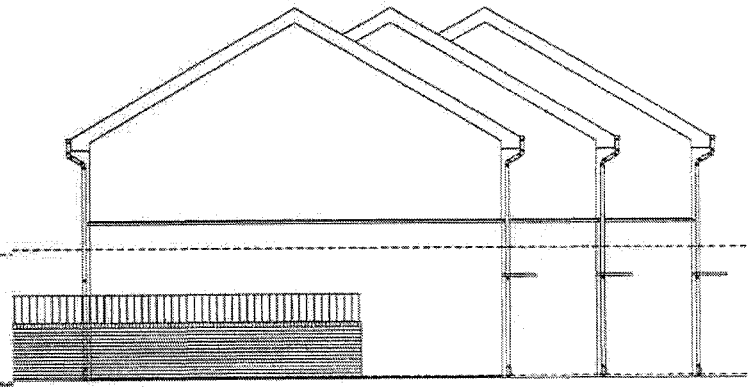
Plain white render panels between soffit and string course with windows, blue black smooth brick or colour coded (K Rend) render panels as shown.

Windows to be triple glazed timber framed with powder coated aluminium facing to outer edge. (Grey)

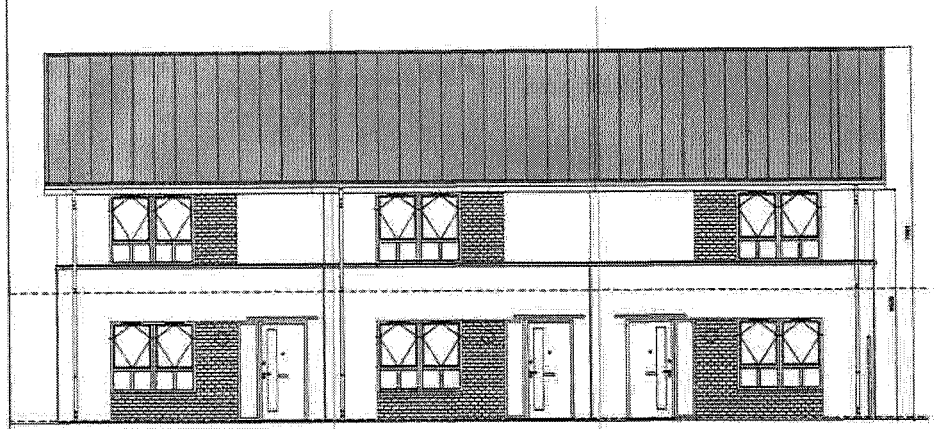
Plain white render to walling below string course with windows, blue black smooth brick panels or colour coded (K Rend) render panels as shown.

Blue/ black smooth brick base course.

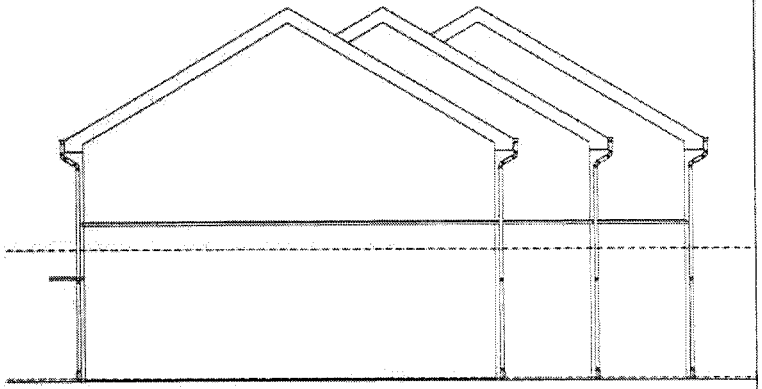
K Rend colour panels on Block 2 to be Sandstone.



Block 2 : North Elevation



Block 2 : West Elevation



Block 2 : South Elevation

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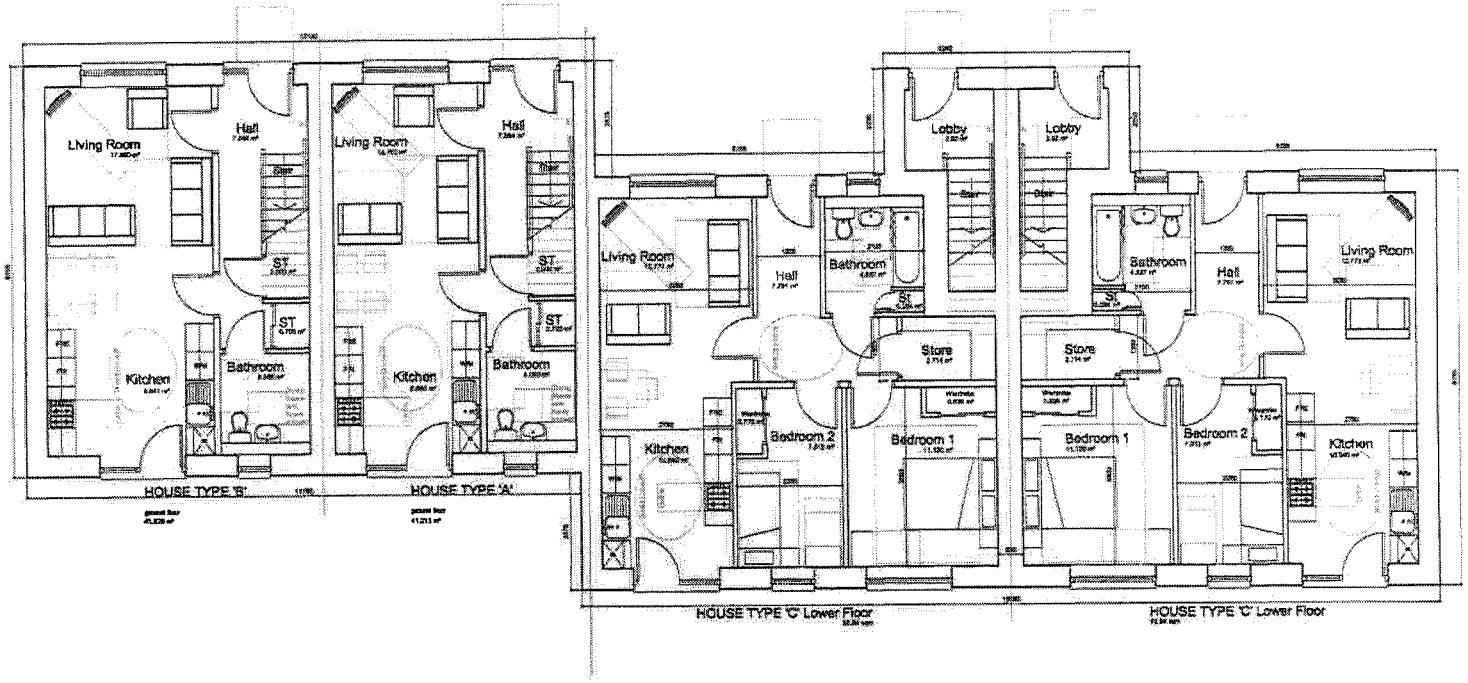
Contractor to check all sizes on site.
Contractor to confirm detailed finishes specification with client.

REV	NOTES	BY	DATE

THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 3114 FAX 0131 332 7836 EMAIL: edin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd
Project: Housing Development at West Quarter, Falkirk.
Drawing: Block 2 : Elevations
Date: 30th April 2014 | Drawn By: CP | Scale: 1:100
Job No: 09-107 | Drawing No: 09



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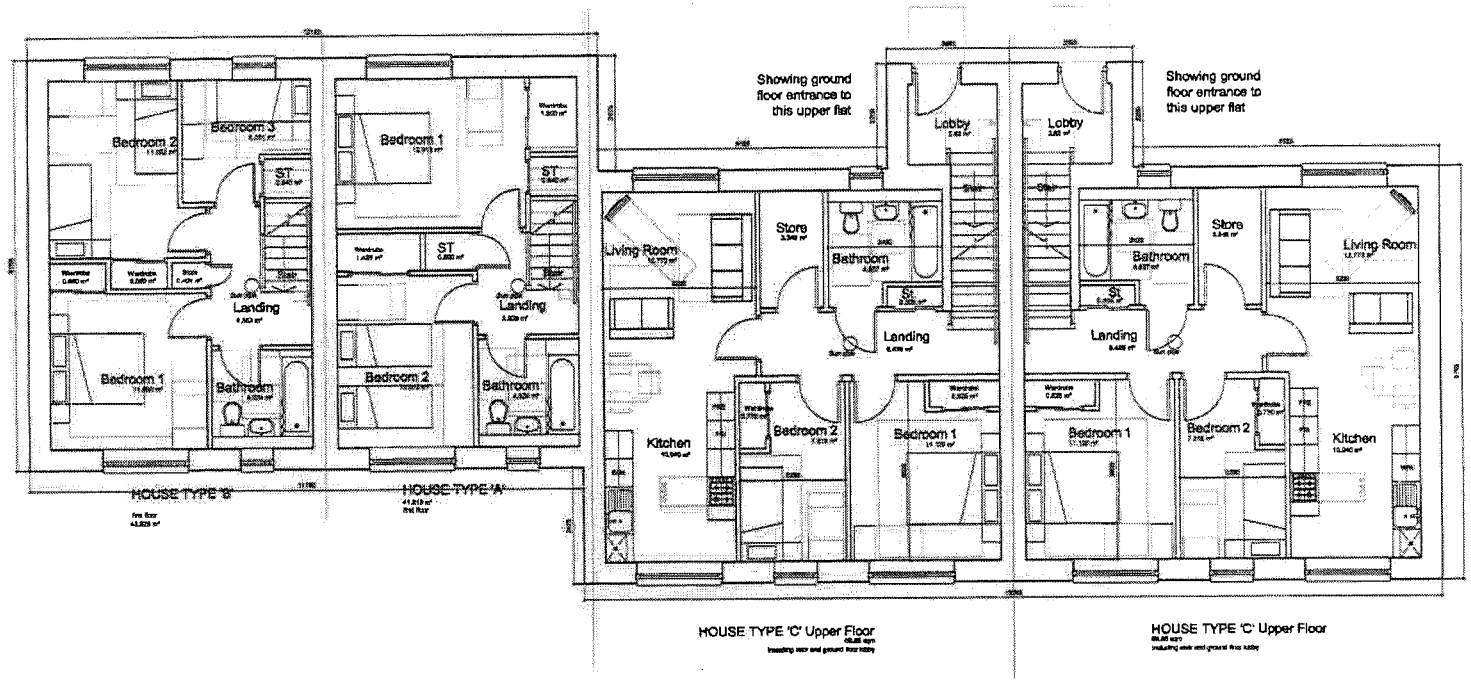
THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 3114 FAX 0131 332 7836 EMAIL: edin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd

Project: Housing Development at West Quarter, Falkirk.

Drawing: Block 3 : Ground Floor Plan.

Date: 30th April 2014	Drawn By: CP	Scale: 1:100
Job No: 09-107	Drawing No: 10	



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REV	NOTES	BY	DATE

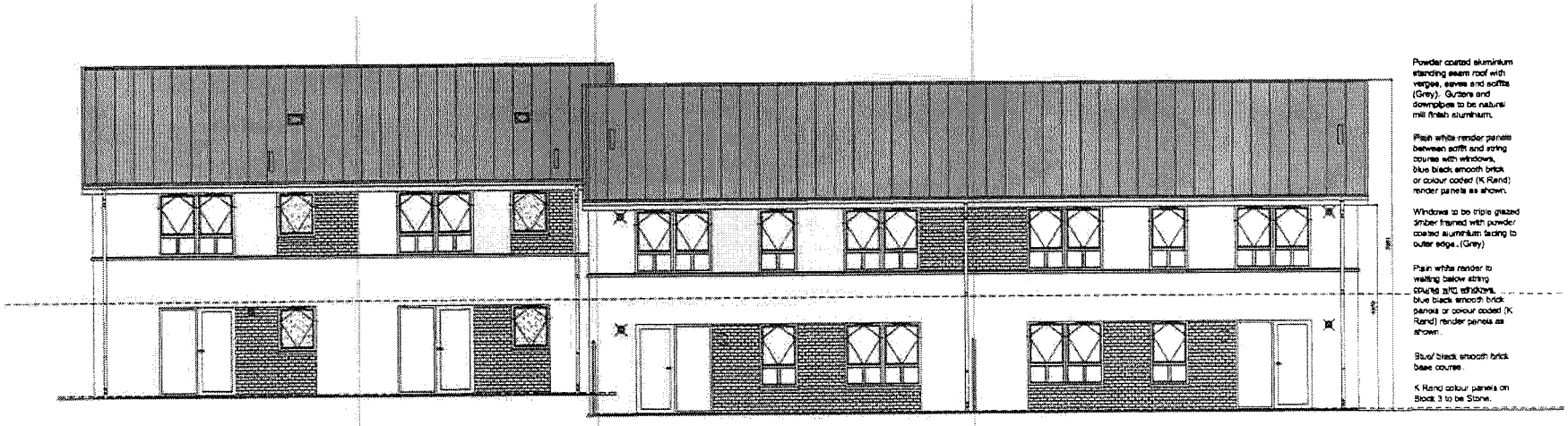
THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 3114 FAX 0131 333 7834 EMAIL: edin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd

Project: Housing Development at West Quarter, Falkirk.

Drawing: Block 3 : First Floor Plan.

Date: 30th April 2014	Drawn By: CP	Scale: 1:100
Job No: 09-107	Drawing No: 11	



Block 3 : North Elevation

Powder coated aluminium standing seam roof with verges, eaves and soffits (Grey). Gutters and downpipes to be natural mill finish aluminium.

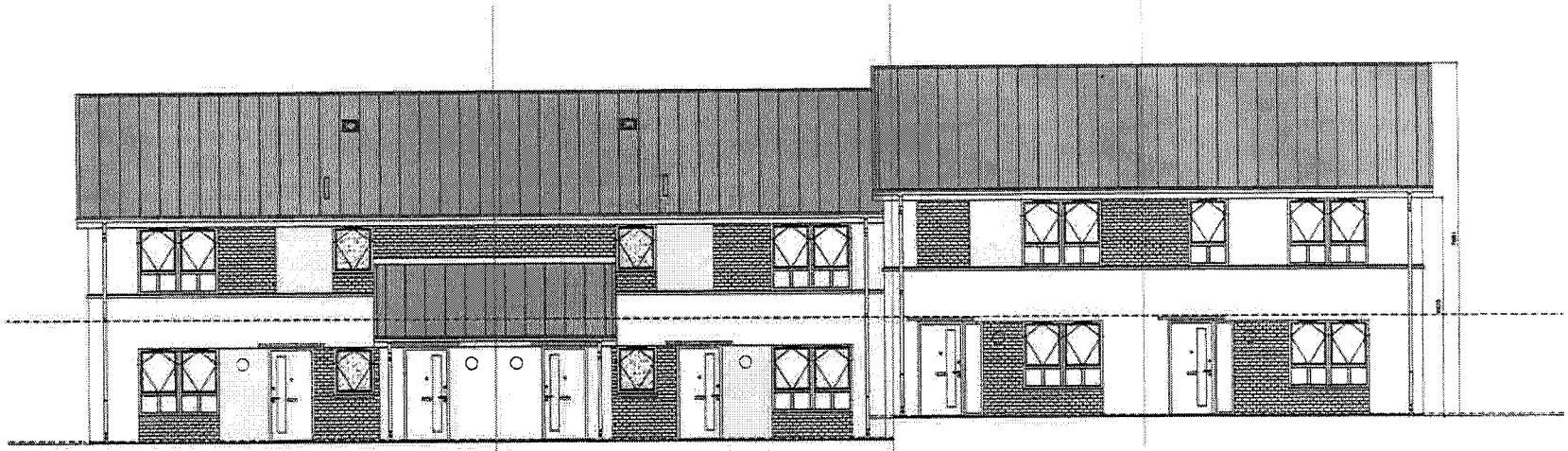
Plain white render panels between soffit and string course with windows, blue black smooth brick or colour coded (K Rend) render panels as shown.

Windows to be triple glazed timber framed with powder coated aluminium facing to outer edge. (Grey)

Plain white render to walling below string course and windows, blue black smooth brick panels or colour coded (K Rend) render panels as shown.

Blue/ black smooth brick base course.

K Rend colour panels on Block 3 to be Stone.



Block 3 : South Elevation

DRAWING STATUS: PLANNING

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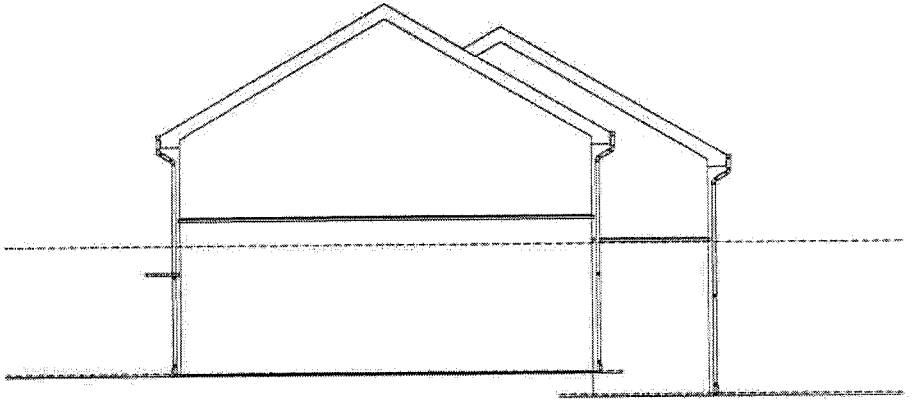
THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 3114 FAX 0131 332 7836 EMAIL: edin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd

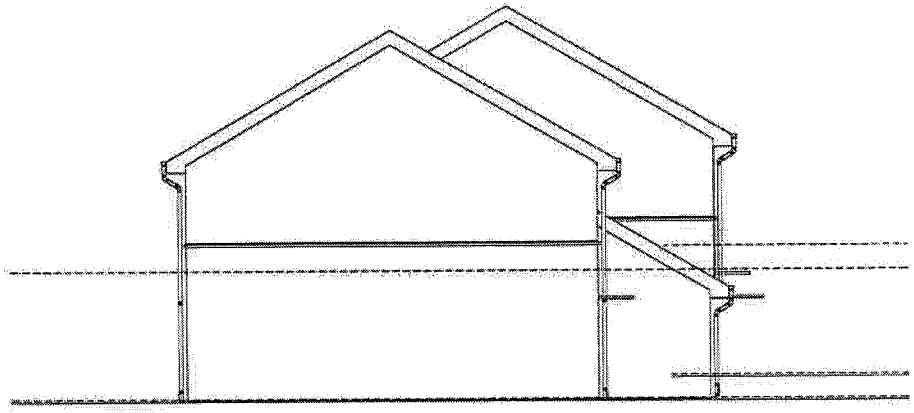
Project: Housing Development at West Quarter, Falkirk.

Drawing: Block 3 : North and South Elevations.

Date: 30th April 2014	Drawn By: CP	Scale: 1:100
Job No: 09-107	Drawing No: 12	



Block 3 : East Elevation



Block 3 : West Elevation

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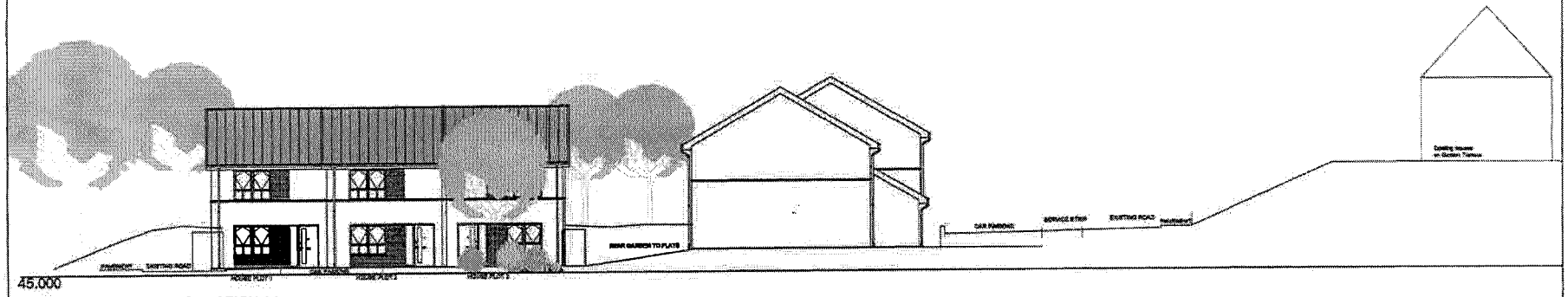
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 5114 FAX 0131 332 7836 EMAIL: admin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd

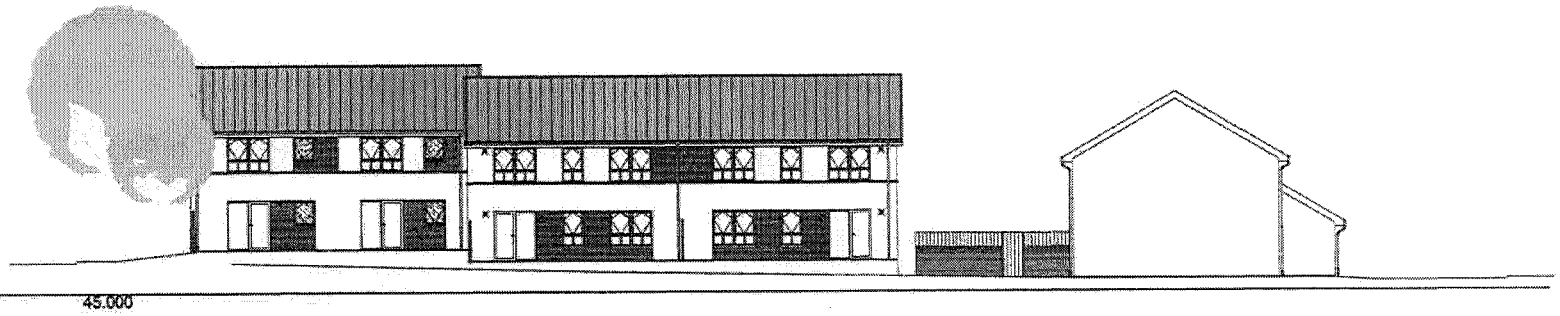
Project: Housing Development at West Quarter, Falkirk.

Drawing: Block 3 : East and West Elevations.

Date: 30th April 2014	Drawn By: CP	Scale: 1:100
Job No: 09-107	Drawing No: 13	



SITE SECTION AA



SITE SECTION BB

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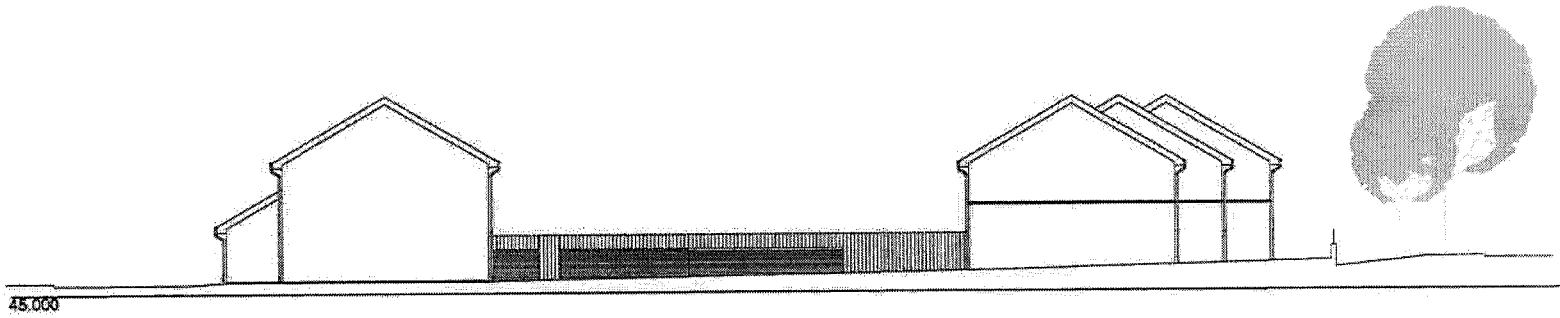
REV	NOTES	BY	DATE

THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2SP
TELEPHONE 0131 343 3114 FAX 0131 332 7836 EMAIL: edin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd
Project: Housing Development at West Quarter, Falkirk.
Drawing: Site Sections AA and BB.

Date: 30th April 2014	Drawn By: CP	Scale: 1:200
Job No: 09-107	Drawing No: 14	



SITE SECTION CC

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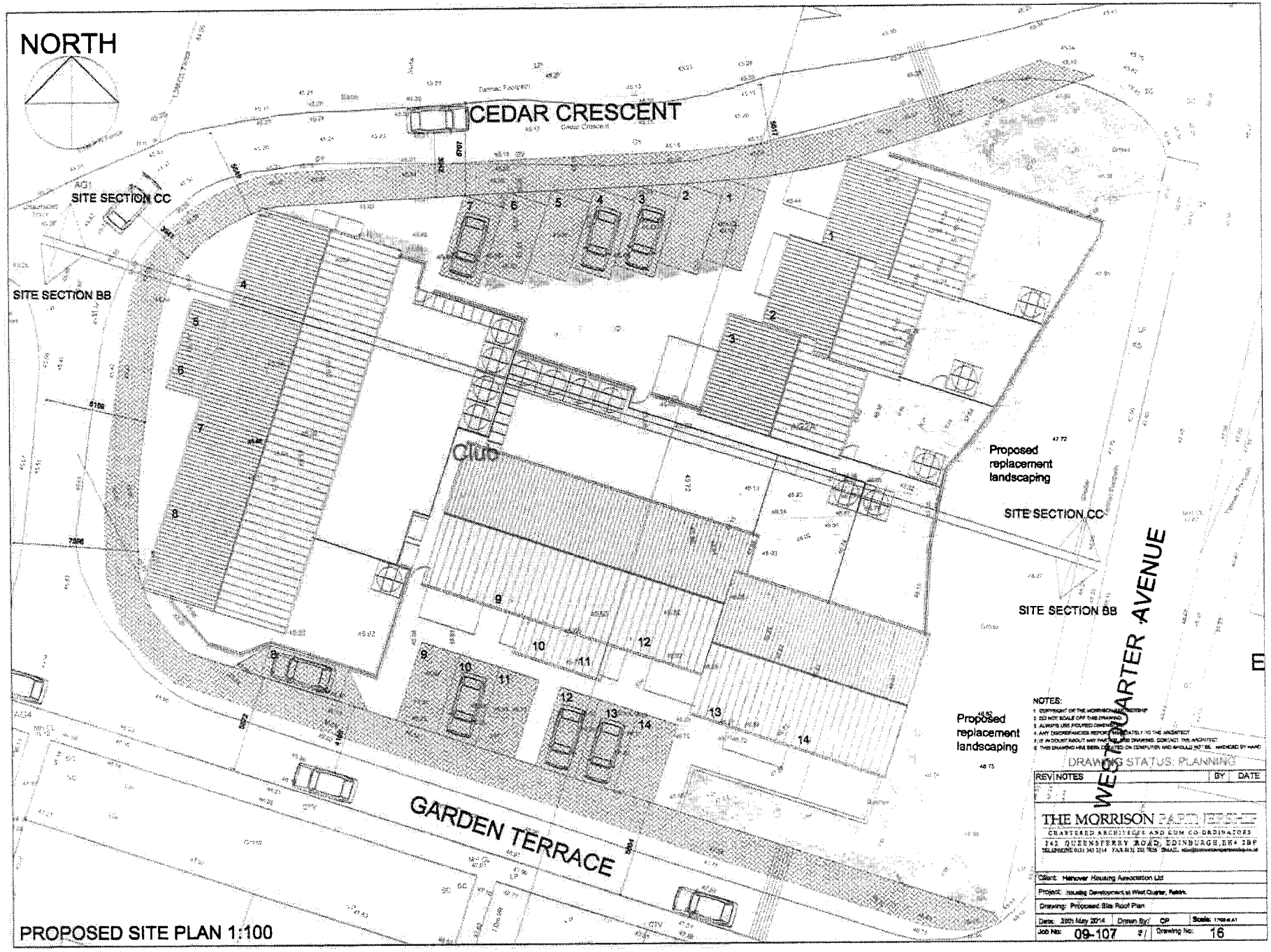
Contractor to confirm detailed finishes specification with client.

REV	NOTES	BY	DATE

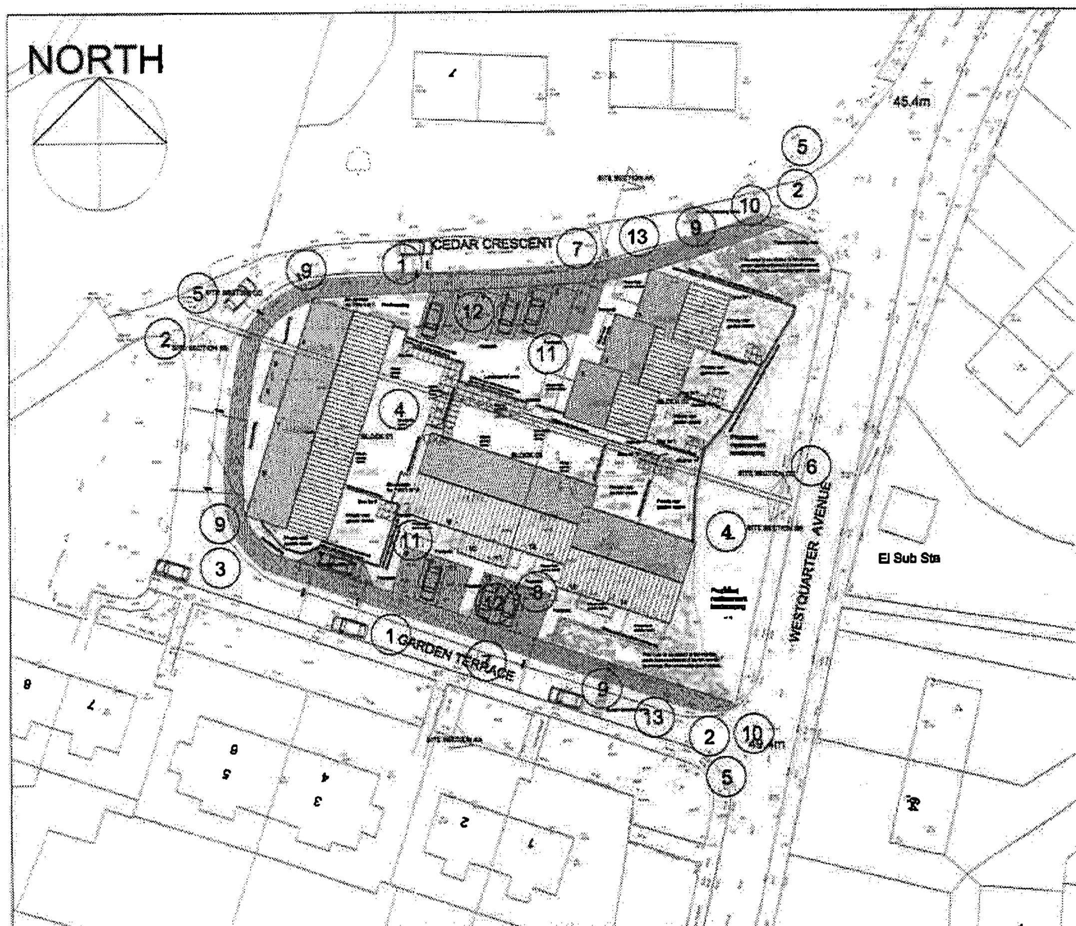
THE MORRISON PARTNERSHIP
CHARTERED ARCHITECTS AND CDM CO-ORDINATORS
242 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP
TELEPHONE 0131 343 3114 FAX 0131 332 7836 EMAIL: edin@themorrisonpartnership.co.uk

Client: Hanover Housing Association Ltd
Project: Housing Development at West Quarter, Falkirk.
Drawing: Site Section CC.
Date: 30th April 2014 | Drawn By: CP | Scale: 1:200
Job No: 09-107 | Drawing No: 15

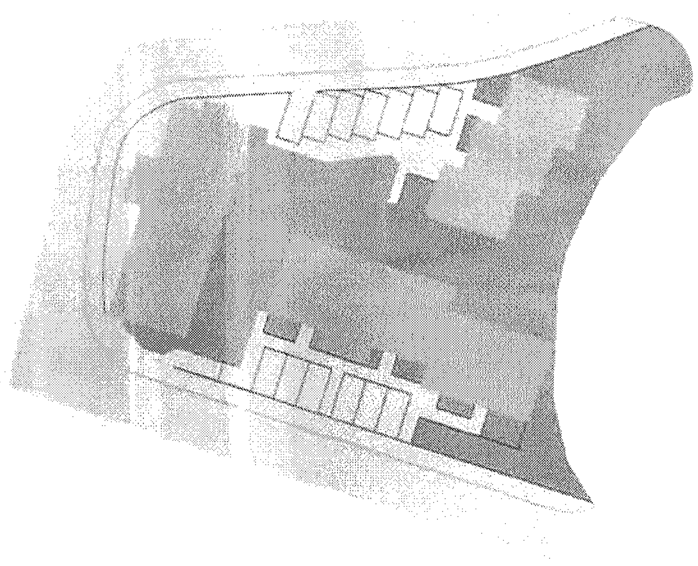


PROPOSED SITE PLAN 1:100

1.24



'DESIGNING STREETS' - TOOLBOX - SITE PLAN 1:500



MOVEMENT

GREEN SPACE

BUILDINGS

'DESIGNING STREETS' - TOOLBOX ASSESSMENT

BAVARIAN 'B' PLAN 1:500

DESIGNING STREETS - TOOLBOX ASSESSMENT.

1st July 2014

West Quarter, Falkirk.

[illegible]

NOTES:

[illegible]

DRAWING STATUS: PLANNING

REV	NOTES	BY	DATE

THE MORRISON PARTNERSHIP

CHARTERED ARCHITECTS AND CDM CO-ORDINATORS

142 QUEENSFERRY ROAD, EDINBURGH, EH4 2BP

Client: Hanover Housing Association Ltd

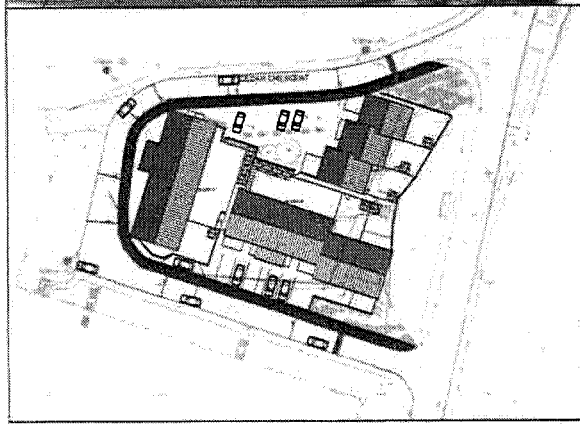
Project: Housing Development at West Quarter, Falkirk.

Drawing: Designing Streets Toolbox Plan

Date: 29th May 2014 | Drawn By: CP | Scale: 1:500

Job No: 09-107 | Drawing No: 17

1:25



REV	NOTES	BY	DATE
	DRAWING STATUS: PLANNING		

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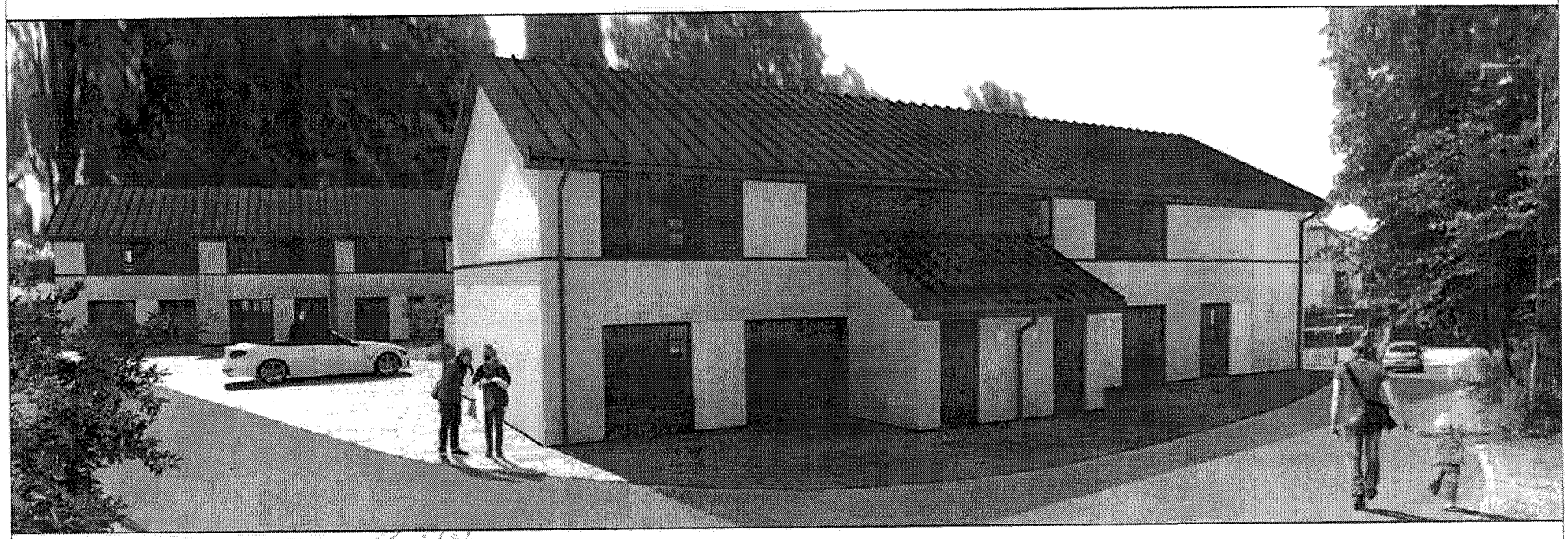
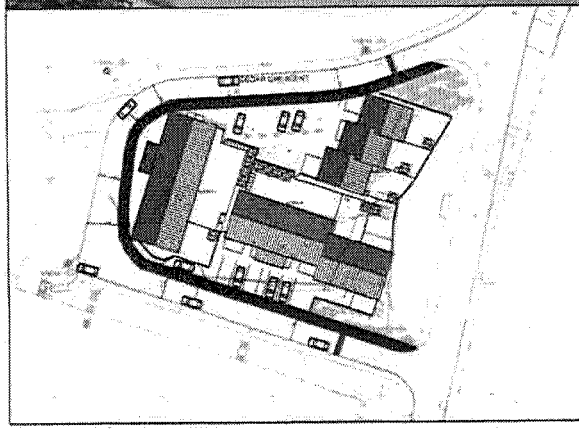
Client:	Hanover Housing Association Ltd
Project:	Housing Development at West Quarter Falkirk
Drawing:	Rendered Perspective - View A
Date: 16th June 2014	Drawn By: CP / Scale: N.T.S.
Job No: 09-107	Drawing No: 21





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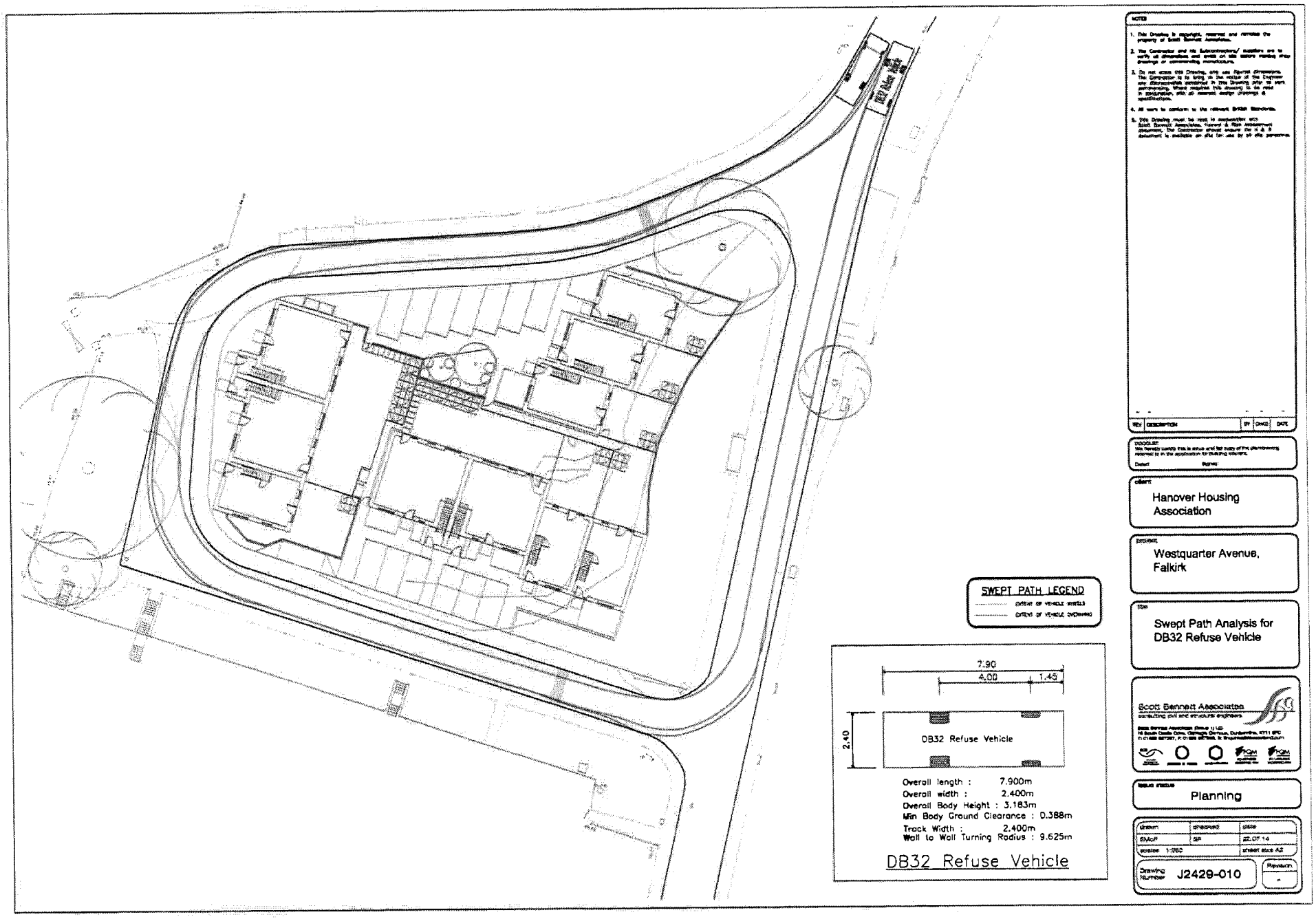
Client:	Hanover Housing Association Ltd
Project:	Housing Development at West Quarter, Falkirk.
Drawing:	Rendered Perspective - View B
Date: 16th June 2014	Drawn By: CP
Scale:	n.t.s.
Job No: 09-107	Drawing No: 22


SWEPT PATH LEGEND
EXTENT OF VEHICLE WHEELS
EXTENT OF VEHICLE OVERHANG
7.90
4.00
1.45
2.40
DB32 Refuse Vehicle
Overall length : 7.900m
Overall width : 2.400m
Overall Body Height : 3.183m
Min Body Ground Clearance : 0.388m
Track Width : 2.400m
Wall to Wall Turning Radius : 9.625m
DB32 Refuse Vehicle
NOTES
REV DESCRIPTION BY CHKD DATE
client
Hanover Housing Association
project
Westquarter Avenue, Falkirk
title
Swept Path Analysis for DB32 Refuse Vehicle
Scott Bennett Associates
Planning
drawn checked date
EMcP SB 22.07.14
scales 1:250 sheet size A2
Drawing Number J2429-010
Revision

1·2B

Alan Motion Tree Consulting Ltd
Chartered Foresters, Arboricultural Consultant

Tree Survey
and
Arboricultural Constraints

WESTQUARTER, FALKIRK

For

HANOVER (SCOTLAND) HOUSING ASSOCIATION LTD

Institute of Chartered Foresters
Registered Consultant

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Director: Alan R Motion BScFor, FICFor, CEnv, MArborA Reg No SC396461

GENERAL INTRODUCTION AND SUMMARY

This tree survey has been carried out for Hanover (Scotland) Housing Association Ltd, in relation to proposed development on land at Westquarter, Falkirk. It relates to 20 trees within the survey boundary shown on the plans appended to the report. Small trees of less than 15cm stem diameter, and areas of undergrowth are described in general terms, but are not recorded in detail. The survey has been carried out in accordance with BS5837:2012 "Trees in relation to design, demolition and construction – Recommendations."

STANDARD CONDITIONS RELATING TO TREE SURVEY INFORMATION

1. Unless otherwise stated, tree surveys are undertaken from ground level using established visual assessment methodology. The inspection is designed to determine, as far as possible, the following:
    a. The presence of fungal disease in the root, stem, or branch structure that may give rise to a risk of structural failure of part or all of the tree;
    b. The presence of structural defects, such as root heave, cavities, weak forks, hazard beams, included bark, cracks, and the like, that may give rise to a risk of structural failure of part or all of the tree;
    c. The presence of soil disturbance, excavations, infilling, compaction, or other changes in the surrounding environment, such as adjacent tree removal or erection of new structures, that may give rise to a risk of structural failure of part or all of the tree;
    d. The presence of the foregoing or any other factor not specifically referred to, which may give rise to a decline or death of the tree.
    e. The presence of surrounding structures, roads, footpaths, utilities, boundaries and the like where growth of the tree may present a hazard or nuisance.
2. Where further investigation is required, either by climbing or the use of specialised decay detection equipment, this will be identified in the report.
3. The findings and recommendations contained within this report are valid for a period of twelve months. Trees are living organisms subject to change - it is strongly recommended that they are inspected at regular intervals for reasons of safety.

4. Whilst every effort has been made to detect defects within the trees inspected, no guarantee can be given as to the absolute safety or otherwise of any individual tree. Extreme climatic conditions can cause damage to apparently healthy trees.
5. The findings and recommendations contained within this report are based on the current site conditions. The construction of roads, buildings, service wayleaves, removal of shelter, and alterations to established soil moisture conditions can all have a detrimental effect on the health and stability of retained trees. Accordingly, a re-inspection of retained trees is recommended on completion of any development operations.
6. This report has been prepared for the sole use of Hanover (Scotland) Housing Association Ltd and their appointed agents. Any third party referring to this report or relying on information contained within it does so entirely at their own risk.

GENERAL DESCRIPTION

The site is located at Garden Crescent/Cedar Terrace off Westquarter Avenue in Westquarter, Falkirk. A disused former social club building occupies the main part of the site, with a group of trees and amenity grass strip running along the east boundary. The majority of the 20 trees form an overgrown, unmaintained beech hedgerow of 17m height. There are 3 mature specimens of sycamore and a single mature Lawson cypress. The trees are separated from the developed area of the site by a low brick wall.

STATUTORY PROTECTION

The trees within the site are not subject to any statutory protection.

TREE SURVEY AND ANALYSIS

A visual assessment has been carried out from the ground level of 20 trees within the site. The location of the trees is plotted on the attached Tree Survey Plan, and their condition and recommended remedial works are recorded in detail in the schedule attached at page 9 of this document. This records relevant details in accordance with the recommendations contained in BS 5837:2012, and includes:

- Tree number (Tree tag number where used, or plan reference number)
- Tree species (common name)
- Stem diameter at breast height (1.5m above ground level)
- Canopy spread in metres (average)
- Tree height (estimate in metres)
- Crown height (clearance to lowest branches in metres)
- Tree Condition Category
- General condition (good, fair, poor, dead)
- Age (Young, middle-aged, mature, over-mature, veteran)
- Whether single or multi-stemmed
- Comments and observations on the overall health and condition of the tree, highlighting any problems or defects
- Recommended remedial works, where necessary.

Where appropriate, recommendations have been made on necessary remedial action such as tree surgery or felling. This is specified where there is likely to be significant risk to safety or tree health, or to abate a nuisance. The recommendations are general in nature and do not constitute a detailed work specification. Specifications, where required, can be provided to accord with the guidance and recommendations contained in BS3998:2010, "Tree work – Recommendations."

The trees have been tagged with round 4-digit tags ranging from 9074-9093.

Trees and groups have been categorised in accordance with the guidelines contained in BS 5837 as follows:

3 Category A

0 Category B,

17 Category C

0 Category U.

For details of the tree categorisation, refer to the table on page 8. Categorisation is carried out without reference to the proposed development or site alterations, and is based solely on tree health, condition, safe life expectancy, and amenity value. The presence of trees and their quality is only one factor in the design and planning process, and the retention of good quality,

healthy trees may be inappropriate in the context of wider planning and development considerations.

CONSTRAINTS POSED BY EXISTING TREES

In order to minimise the risk of long-term damage to trees from construction operations, particular care is required to protect trees from physical damage. Significant damage can be caused to root systems by ground level changes; soil compaction; contamination from oils and cement; and changes in soil moisture content. For these reasons, BS 5837:2012 '*Trees in relation to design, demolition and construction – Recommendations*' sets out a minimum recommended Root Protection Area (RPA) in m^2 based on the stem diameter of the tree. The RPA represents the below-ground constraints presented by trees within the proposed development area and must be taken into account in the design process. Whilst BS5837 recommends specifying the RPA as a circle, for practical purposes this report uses the equivalent square area centred on the stem of the tree. The RPA may be adjusted where restrictions to normal rooting patterns suggest that root growth will be minimal (*e.g.* adjacent to walls, sealed surfaces, watercourses, or existing utility trenches).

Above-ground constraints include ultimate tree height and canopy spread which will affect both physical presence and daylight availability to any proposed structures. Species characteristics, such as evergreen or dense foliage, potential for branch drop, fruit fall, *etc*, will all have an influence on the potential for development of the site. Other factors that may need to be taken into account will include easements for underground and above-ground apparatus; road safety and visibility; or the proposed end use of space adjacent to retained trees.

ARBORICULTURAL IMPACT ASSESSMENT

Designs have been prepared for the demolition of the existing building, and construction of new residential properties with off-street parking. The row of beech trees were originally planted as a hedge, but have not been maintained as such. As a result several individuals are heavily suppressed, and most have very asymmetric crown development. There are few realistic options for management of the group. Any attempt to thin out to the best individual stems is

likely to result in crown dieback due to exposure, or a significant risk of wind damage. They are not really suited to long-term retention within a residential development, so the most sensible option would be to remove the group and provide replacement planting closer to the road verge to form a new landscaped boundary to the site.

The three sycamore trees (9074, 9091, 9092) are good, dominant specimens. It will be possible to retain the tree in the NE corner (9074) within the proposed scheme, although some care will be needed in the formation of the service strip to avoid root damage. It will not be possible to retain the remaining sycamores within the current designs.

There is space within the existing amenity grass verge along Westquarter Avenue to provide significant replacement tree planting, which should include some larger-growing specimens to replace trees to be removed.

TREE PROTECTION PLAN

The Tree Protection Plan indicates the location of all proposed structures and hard surfacing, and the location of the required Construction Exclusion Zone (CEZ) around trees proposed for retention. It indicates appropriate Construction Exclusion Zones, which are based on the recommended Root Protection Areas and other identified constraints, including daylight shading, tree species, vigour, amenity values, and specific ground conditions which are likely to influence the rooting environment. Trees recommended for retention must be protected barriers and/or ground protection prior to commencement of any development works, including demolition. Barriers should consist of a scaffold framework in accordance with Figure 2 of BS 5837:2012, comprising a vertical and horizontal framework, well braced to resist impacts, with vertical tubes spaced at a maximum interval of 3 m. Onto this, weld mesh panels should be securely fixed with wire or scaffold clamps. Heras Fencing may be used providing that the panels are joined together with a minimum of two anti-tamper couplings, and that panels are braced on the inside of the CEZ with stabiliser struts in accordance with Figure 3 of BS5837:2012.

There should be no movement of machinery, stockpiling of materials, excavations (including service runs), or changes in existing ground levels within the Construction Exclusion Zone throughout the duration of the construction works. Where service runs must pass through the protected area (indicated by hatching), excavations should be dug by hand, and all tree roots

encountered that are greater than 25mm diameter should be retained intact. Cables, pipes and ducts should be fed below roots, and trenches should be backfilled as soon as possible to prevent desiccation of roots.

BS 5837:2012 Tree Categorisation

TREES FOR REMOVAL		
Category and definition	**Criteria**	**Identification on plan**
Category U Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years	- Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other U Category trees (e.g. where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning) - Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline - Trees infected with pathogens of significance to the health and/or safety of other trees nearby, or very low quality trees suppressing adjacent trees of better quality NOTE : *Category U trees can have existing or potential conservation value which it might be desirable to preserve.*	**Red**

TREES TO BE CONSIDERED FOR RETENTION				
Category and definition	**Criteria – Subcategories**			**Identification on plan**
	1 Mainly arboricultural values	**2 Mainly landscape values**	**3 Mainly cultural values, including conservation**	
Category A **Trees of high quality** with an estimated remaining life expectancy of 40 years	Trees that are particularly good examples of their species, especially if rare or unusual, or essential components of groups, or of formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue)	Trees, groups or woodlands of particular visual importance as arboricultural features and/or landscape features.	Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture)	**Green**
Category B **Trees of moderate quality** with an estimated remaining life expectancy of at least 20 years	Trees that might be included in Category A, but are downgraded because of impaired condition (*e.g.* presence of significant though remediable defects including unsympathetic past management and storm damage), such that they are unlikely to be suitable for retention beyond 40 years; or trees lacking the special quality necessary to merit the Category A designation	Trees present in numbers, usually as groups or woodlands, such that they attract a higher collective rating than they might as individuals; or trees occurring as collectives but situated so as to make little visual contribution to the wider locality.	Trees with material conservation or other cultural value	**Blue**
Category C **Trees of low quality** with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150mm	Unremarkable trees of very limited merit or such impaired condition that they do not qualify in higher categories	Trees present in groups or woodlands, but without this conferring on them a greater collective landscape value; and/or trees offering low or only temporary/transient landscape benefits	Trees with no material conservation or other cultural value	**Grey**

Tree Survey Schedule

Tag No	Species	DBH	Canopy	Ht	C.Ht	BS Cat	Condition	Age	Stems	Comments	Recommendations
9074	Sycamore	0.75	6	14	3	A1	Good	M	1	Branches affecting adjacent lampost	Tip back secondary branch growth to clear lampost. Ground protection measures required during construction to minimise root disturbance.
9075	Beech	0.30	4	16	2	C1	Fair	M-A	1	Start of group of unmaintained hedge.	Not suitable for long-term retention close to housing. If site is redeveloped, consider removal as a group.
9076	Beech	0.30	4	16	2	C1	Fair	M-A	1		
9077	Beech	0.15	1	12	3	C1	Poor	M-A	1	Canopy suppressed.	
9078	Beech	0.30	4	17	3	C1	Fair	M-A	1		
9079	Beech	0.35	5	17	2	C1	Fair	M-A	1		
9080	Beech	0.20	3	12	2	C1	Poor	M-A	1	Canopy suppressed.	
9081	Beech	0.35	5	17	2	C1	Fair	M-A	1		
9082	Beech	0.30	5	8	2	C1	Poor	M-A	1	Canopy 1-sided. Canopy suppressed.	
9083	Beech	0.35	6	16	2	C1	Fair	M-A	1		
9084	Beech	0.30	5	17	1	C1	Fair	M-A	1	Physical damage to bark at 1m.	
9085	Beech	0.30	4	15	2	C1	Fair	M-A	1	Canopy 1-sided.	
9086	Beech	0.25	5	16	1	C1	Fair	M-A	1		
9087	Beech	0.55	7	16	2	C1	Poor	M-A	M	Included bark, compression fork at ground level. Dominant stem in group but weak, with minor decay from union.	
9088	Beech	0.20	3	10	3	C1	Poor	M-A	1	Canopy 1-sided. Canopy suppressed.	
9089	Beech	0.35	6	15	1	C1	Fair	M-A	1	End of group.	
9090	Lawson cypress	0.60	4	18	1	C1	Fair	M	1	Fire damage. Dead crown W side to 8m. Remainder healthy.	Remove to permit proposed development.
9091	Sycamore	0.75	6	17	3	A1	Good	M	1		Remove to permit proposed development.
9092	Sycamore	0.75	8	17	4	A1	Good	M	1		Remove to permit proposed development.
9093	Sycamore	0.20	3	8	2	C1	Fair	Y-M	1	Small in clump of holly, no tag.	Remove to permit proposed development.

NOTE: Recommendations given in the foregoing schedule do not constitute a detailed tree work specification. This schedule should not be used for tendering or instructing tree surgery operations. A detailed Tree Works Specification can be provided in accordance with BS3998:2010, "Tree Work – Recommendations" where required.

Tree Survey Schedule

KEY TO TREE SURVEY SCHEDULE

No	Number as shown on survey plan (refers to tree tags where used)
Species	Common name
DBH	Stem Diameter at Breast Height, measured at 1.5m above ground level. Diameter measured in 0.05m bands and ***rounded up*** to next 0.05m.
Canopy	Average canopy radius in metres (survey drawing shows actual canopy radius at 4 cardinal points).
Ht	Approximate tree height in metres
C Ht	Crown height, indicating clearance from ground level to lowest branches, measured in metres
BS Cat	British Standard 5837:2012 tree categorisation
Condition	General overall description of condition: Good, Fair, Poor, Dead
Age	Age class (Young, Middle-Aged, Mature, Over-Mature, Veteran)
Stems	Single (1) or multiple (M) stems from below 1.5m, used to determine the appropriate Root Protection Area.
Comments	Comments on any observed defects within the root zone or affecting visible buttress root system; on the main stem up to and including the point of the first main fork; and affecting main scaffold branch system or secondary branch structure. Will be left blank where no defects are noted and growth characteristics are normal
Recommendations	Description of any recommended remedial tree work operations to be carried out in accordance with BS 3998:2010, and following the specifications identified in the Arboricultural Association Specification for Tree Works. Will be left blank where no work is required