

Abbotsford House Davids Loan Falkirk FK2 7YZ Tel: 01324 504748 Email: bsdm@falkirk.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100062382-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

Application for planning permission (including changes of use and surface mineral working).

Application for planning permission in principle.

Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)

Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

Erection of Two Houses

Is this a temporary permission? *

If a change of use is to be included in the proposal has it already taken place? (Answer 'No' if there is no change of use.) *

Has the work already been started and/or completed? *

X No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting		
on behalf of the applicant in connection with this application)	Applicant 🖾 Agent	

Yes X No

□ Yes ⊠ No

Agent Details			
Agent Details			
Please enter Agent details			
Company/Organisation:	Hardie Associates Ltd		
Ref. Number:		You must enter a Bu	ilding Name or Number, or both: *
First Name: *	Colin	Building Name:	78
Last Name: *	Hardie	Building Number:	
Telephone Number: *	01506 633979	Address 1 (Street): *	Hopetoun Street
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Bathgate
Fax Number:		Country: *	West Lothian
		Postcode: *	EH48 4PD
Email Address: *	chardie@hardie-associates.co.uk		
Is the applicant an individ	ual or an organisation/corporate entity? *		
🛛 Individual 🗌 Organ	nisation/Corporate entity		
Applicant Det	ails		
Please enter Applicant de	tails		
Title:	Ms	You must enter a Bu	ilding Name or Number, or both: *
Other Title:		Building Name:	
First Name: *	D	Building Number:	5
Last Name: *	Green	Address 1 (Street): *	Milne Drive
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Falkirk
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	FK2 9GT
Fax Number:			
Email Address: *			

Site Address [Details				
Planning Authority:	Falkirk Council				
Full postal address of the s	site (including postcode	where availab	ole):		
Address 1:					
Address 2:					
Address 3:					
Address 4:					
Address 5:					
Town/City/Settlement:					
Post Code:					
Please identify/describe the	e location of the site or	sites			
Land East of Calzieveg,	Standburn				
Northing 6	74708		Easting		292769
Pre-Applicatio			ĸ		Yes X No
Site Area					
Please state the site area:		1829.00			
Please state the measuren	nent type used:	Hectares	(ha) 🛛 Square M	letres (sq.	.m)
Existing Use					
Please describe the curren	t or most recent use: *	(Max 500 cha	racters)		
Vacant site (former hous	ing site)				
Access and Pa	arking				
Are you proposing a new a If Yes please describe and you propose to make. You	show on your drawing	s the position of	of any existing. Alter	ed or new be any im	Yes No No vaccess points, highlighting the changes npact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of acces	ss? *	Yes 🛛 No
If Yes please show on your drawings the position of any affected areas highlighting the changes you pl arrangements for continuing or alternative public access.	ropose to m	nake, including
How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?	0	
How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *	6	
Please show on your drawings the position of existing and proposed parking spaces and identify if thes types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).	se are for th	e use of particular
Water Supply and Drainage Arrangements		
Will your proposal require new or altered water supply or drainage arrangements? *	۵	Yes 🗌 No
Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *		
Yes – connecting to public drainage network		
No – proposing to make private drainage arrangements		
Not Applicable – only arrangements for water supply required		
Do your proposals make provision for sustainable drainage of surface water?? * (e.g. SUDS arrangements) *	C	Yes X No
Note:-		
Please include details of SUDS arrangements on your plans		
Selecting 'No' to the above question means that you could be in breach of Environmental legislation.		
Are you proposing to connect to the public water supply network? *		
X Yes		
No, using a private water supply		
L No connection required		
If No, using a private water supply, please show on plans the supply and all works needed to provide it	t (on or off s	site).
Assessment of Flood Risk		
Is the site within an area of known risk of flooding? *	Yes D	No 🗌 Don't Know
If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment determined. You may wish to contact your Planning Authority or SEPA for advice on what information is a second secon		
Do you think your proposal may increase the flood risk elsewhere? *	Yes D	No 🗌 Don't Know
Trees		
Are there any trees on or adjacent to the application site? *	Γ	Yes 🛛 No
If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close any are to be cut back or felled.	to the propo	osal site and indicate if
Waste Storage and Collection		
Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *	٥	Yes 🗌 No

If Yes or No, please provide further details: * (Max 500 characters)	
Storage area for the suite of local authority bins.	
Residential Units Including Conversion	
Does your proposal include new or additional houses and/or flats? *	X Yes 🗌 No
How many units do you propose in total? * 2	
Please provide full details of the number and types of units on the plans. Additional information may be provistatement.	ided in a supporting
All Types of Non Housing Development – Proposed New	Floorspace
Does your proposal alter or create non-residential floorspace? *	Yes 🛛 No
Schedule 3 Development	
Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013 *	es 🗵 No 🗌 Don't Know
If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the deve authority will do this on your behalf but will charge you a fee. Please check the planning authority's website f fee and add this to your planning fee.	
If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check to notes before contacting your planning authority.	the Help Text and Guidance
Planning Service Employee/Elected Member Interest	
Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *	Yes 🛛 No
Certificates and Notices	
CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOP PROCEDURE) (SCOTLAND) REGULATION 2013	MENT MANAGEMENT
One Certificate must be completed and submitted along with the application form. This is most usually Certificate B, Certificate C or Certificate E.	ficate A, Form 1,
Are you/the applicant the sole owner of ALL the land? *	🗙 Yes 🗌 No
Is any of the land part of an agricultural holding? *	Yes X No
Certificate Required	
The following Land Ownership Certificate is required to complete this section of the proposal:	
Certificate A	

Land Ov	wnership Certificate
Certificate and Not Regulations 2013	tice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland)
Certificate A	
I hereby certify tha	t –
lessee under a lea	her than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the se thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the period of 21 days ending with the date of the accompanying application.
(2) - None of the la	and to which the application relates constitutes or forms part of an agricultural holding
Signed:	Colin Hardie
On behalf of:	Ms D Green
Date:	09/08/2017
	Please tick here to certify this Certificate. *
Checklist	 Application for Planning Permission
Town and Country	Planning (Scotland) Act 1997
The Town and Cou	untry Planning (Development Management Procedure) (Scotland) Regulations 2013
in support of your a	moments to complete the following checklist in order to ensure that you have provided all the necessary information application. Failure to submit sufficient information with your application may result in your application being deemed ng authority will not start processing your application until it is valid.
that effect? *	Pr application where there is a variation of conditions attached to a previous consent, have you provided a statement to ☑ Not applicable to this application
b) If this is an appl you provided a sta	ication for planning permission or planning permission in principal where there is a crown interest in the land, have tement to that effect? * X Not applicable to this application
c) If this is an appli development belor you provided a Pre	ication for planning permission, planning permission in principle or a further application and the application is for nging to the categories of national or major development (other than one under Section 42 of the planning Act), have e-Application Consultation Report? * X Not applicable to this application
Town and Country	Planning (Scotland) Act 1997
The Town and Cou	untry Planning (Development Management Procedure) (Scotland) Regulations 2013
major developmen Management Proc	ication for planning permission and the application relates to development belonging to the categories of national or ts and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development edure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? * Not applicable to this application

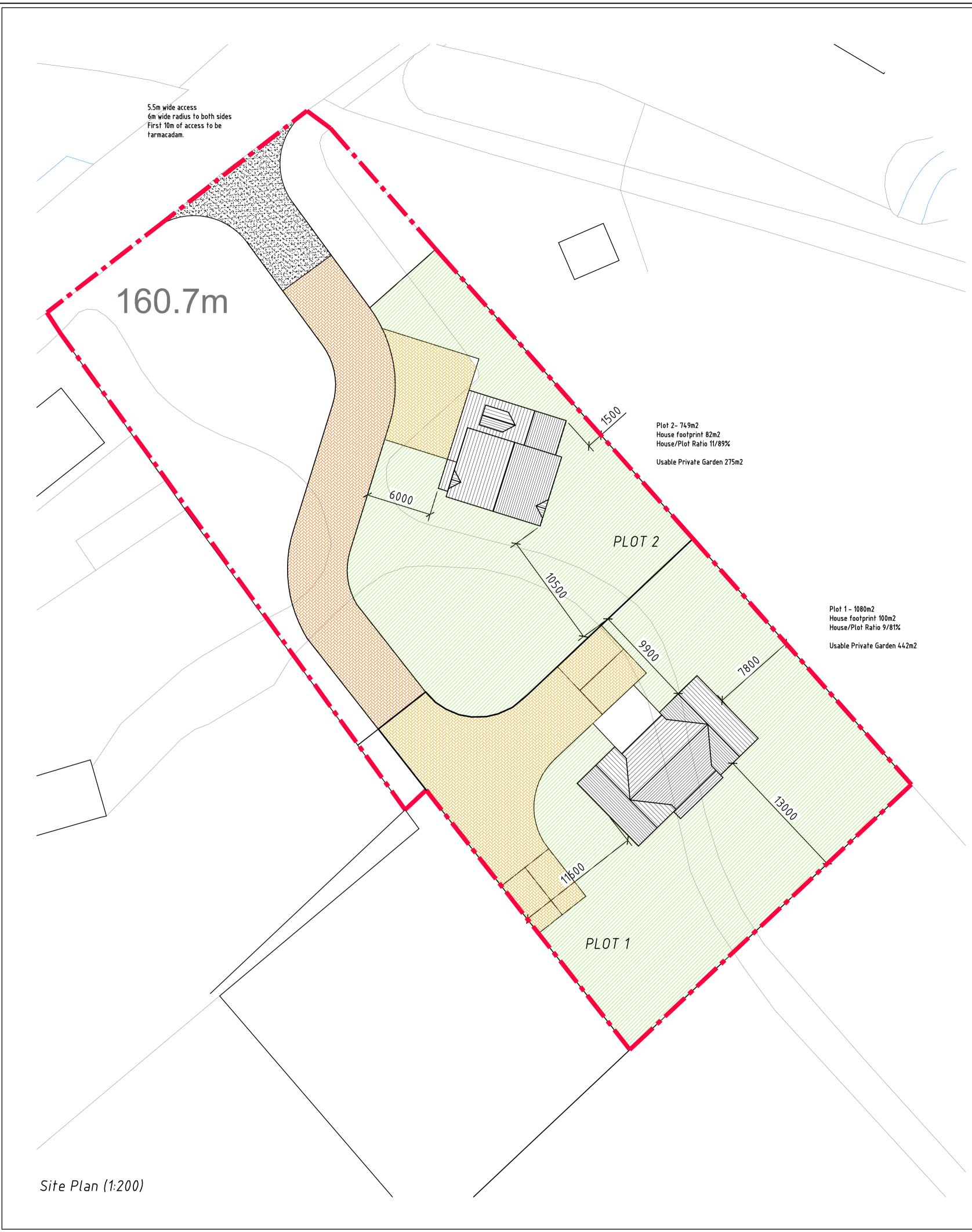
e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement?

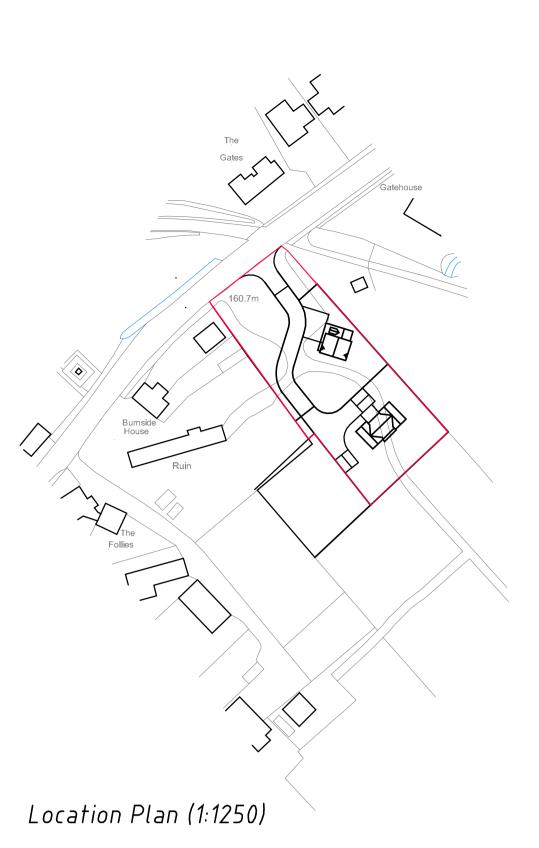
 \Box Yes \Box No \boxtimes Not applicable to this application

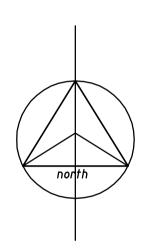
f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No X Not applicable to this application

	n for planning permission, planning permission in principle, an application for a ion for mineral development, have you provided any other plans or drawings	
Site Layout Plan or	Block plan	
Elevations.		
Floor plans.		
Cross sections.		
Roof plan.		
Master Plan/Frame	work Plan.	
Landscape plan.		
Photographs and/or	r photomontages.	
Other.		
If Other, please specify:	* (Max 500 characters)	
Provide copies of the fol	lowing documents if applicable:	
A copy of an Environme	ntal Statement. *	Yes X N/A
	Design and Access Statement. *	Yes X N/A
A Flood Risk Assessme	-	🗌 Yes 🛛 N/A
A Drainage Impact Asse	ssment (including proposals for Sustainable Drainage Systems). *	🗌 Yes 🔀 N/A
Drainage/SUDS layout.		🗌 Yes 🔀 N/A
A Transport Assessmen	t or Travel Plan	🗌 Yes 🔀 N/A
Contaminated Land Ass	essment. *	🗌 Yes 🔀 N/A
Habitat Survey. *		🗌 Yes 🔀 N/A
A Processing Agreemen	t. *	Yes 🗙 N/A
Other Statements (pleas	e specify). (Max 500 characters)	
Declare – For	r Application to Planning Authority	
	rtify that this is an application to the planning authority as described in this for itional information are provided as a part of this application.	m. The accompanying
Declaration Name:	Mr Colin Hardie	
Declaration Date:	09/08/2017	





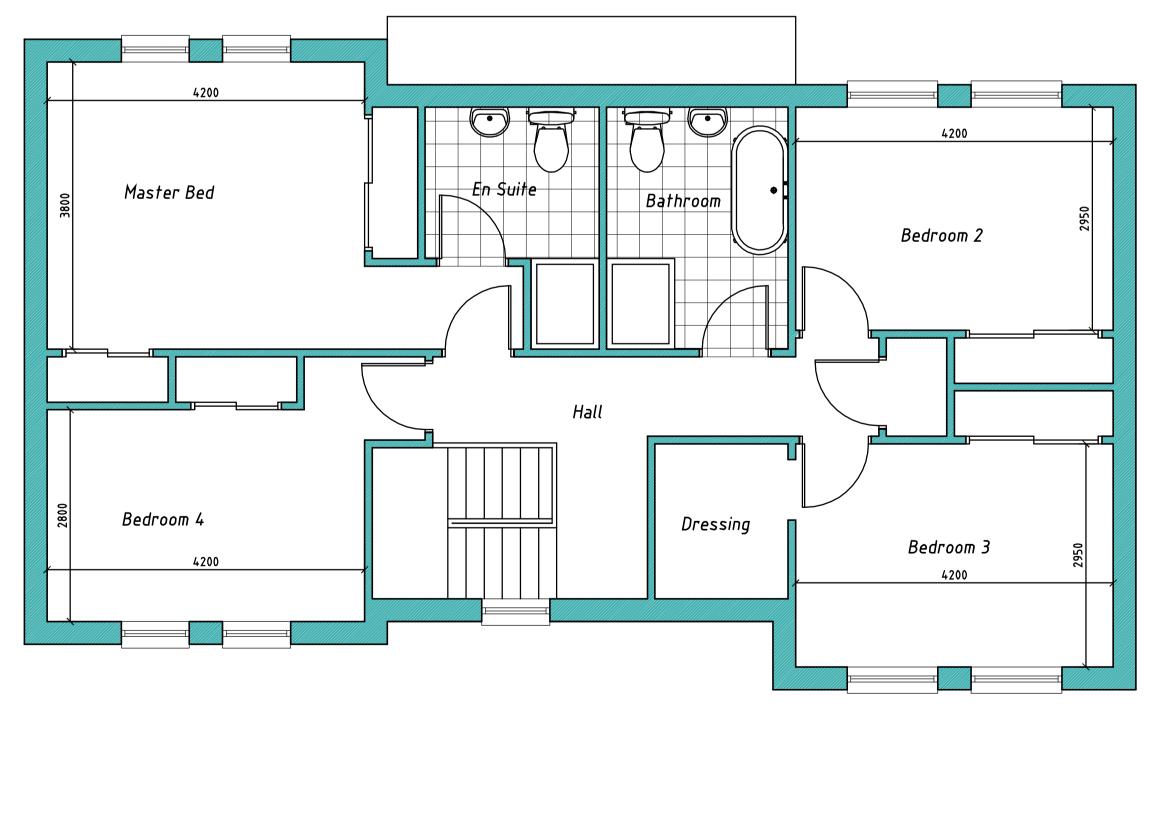


title:	Site Plan	
client:	Mr & Mrs J Green	
project	::	
	Proposed House	
	Standburn	
	Falkirk	
scale:	1:50/1:100 @ A1	^{date:} May 17
drawin	g number: 17/029/Pl	L01
HA	RDIE ASSOCI	ATES LTD
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	-01506 634656	

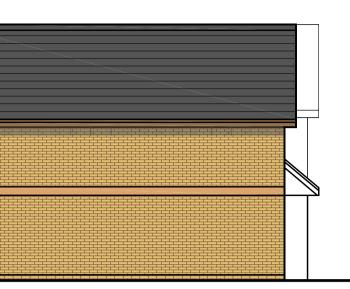




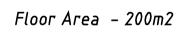
Rear Elevation (1:100)



First Floor Plan 1:50



Side Elevation (1:100)

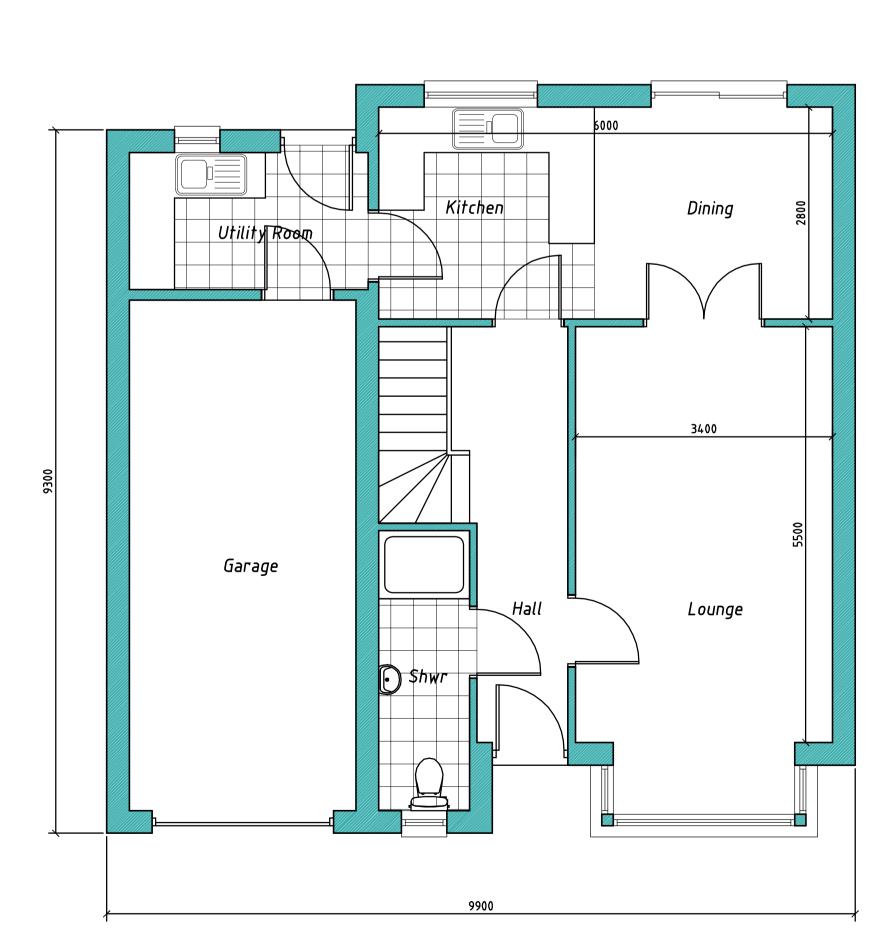


title:	Plans and Elevatio	ns (Plot 1)			
client:	Mr & Mrs J Green				
project	•				
	Proposed House Standburn Falkirk				
scale:	1:50/1:100 @ A1	^{date:} May 17			
drawin	drawing number: 17/029/PL02				
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Front Elevation (1:100)

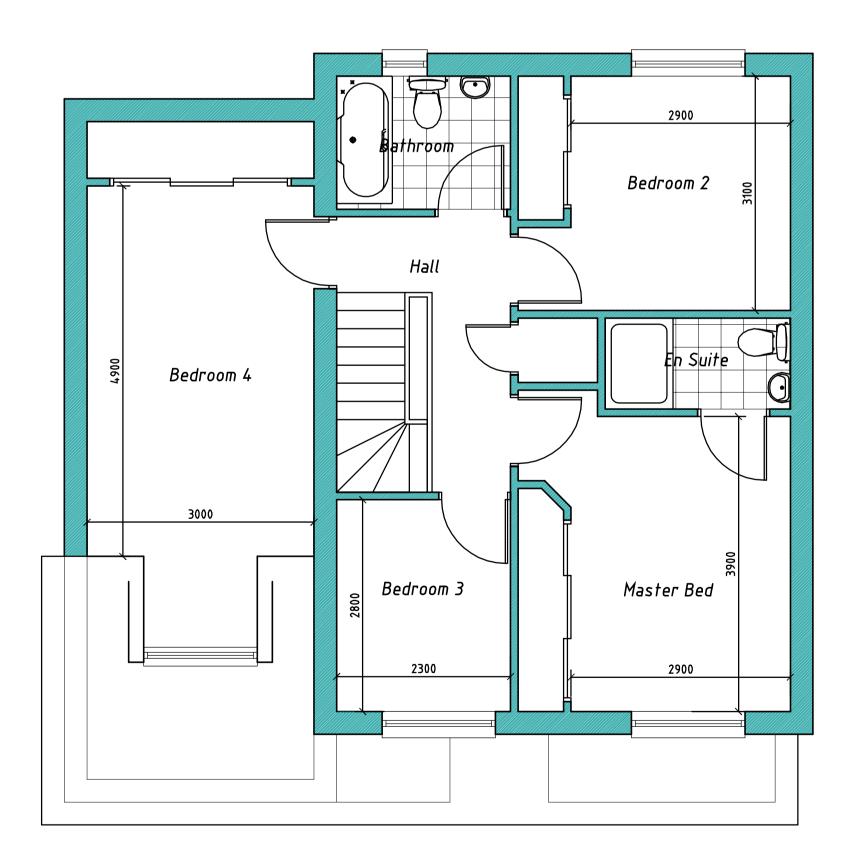
Side Elevation (1:100)



Ground Floor Plan 1:50

Rear Elevation (1:100)

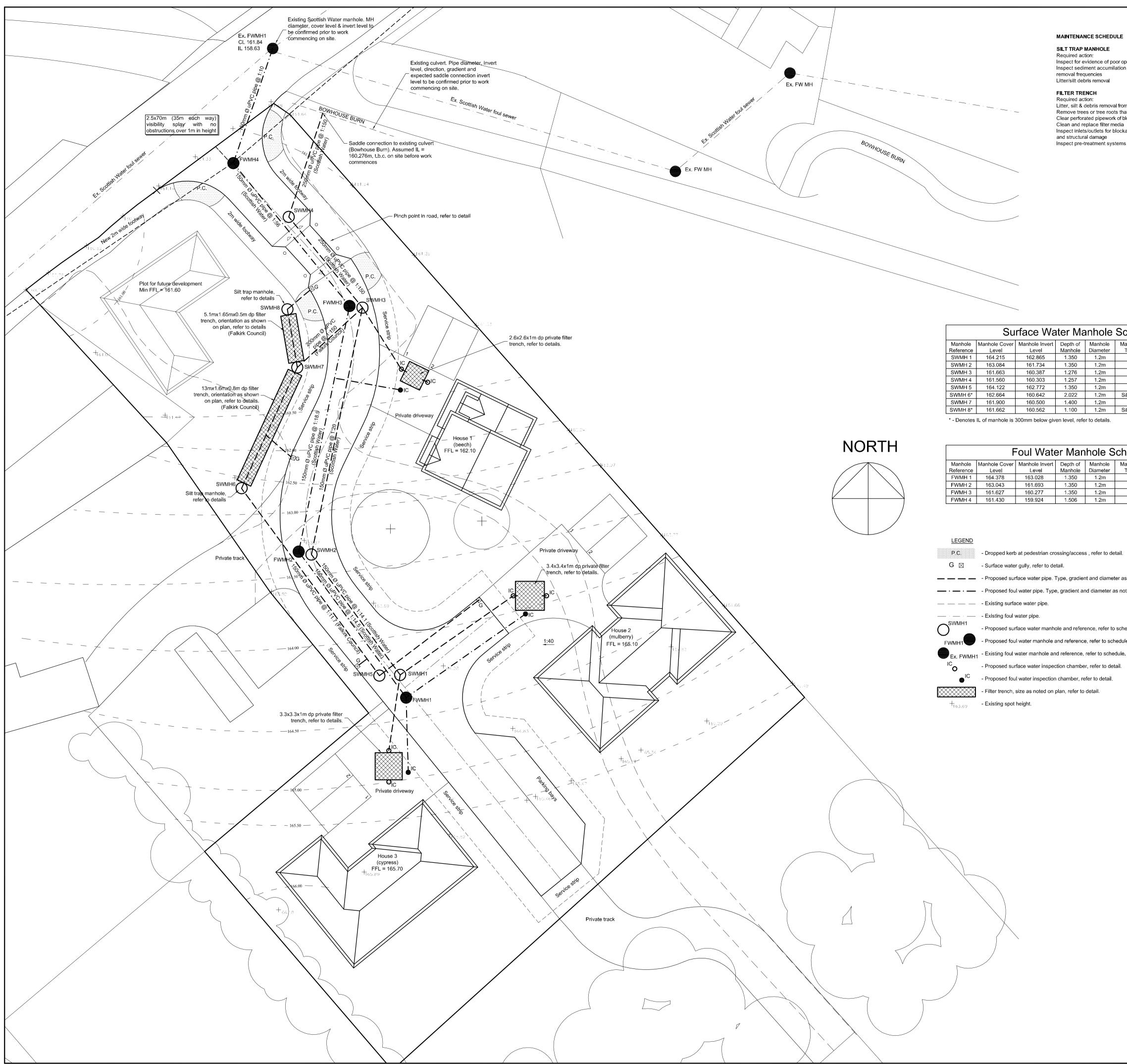
Side Elevation (1:100)



First Floor Plan 1:50

Floor Area – 150m2

title:	Plans and Elevation	ns (Plot 20
client:	Mr & Mrs J Green	
project	:	
	Proposed House Standburn Falkirk	
scale:	1:50/1:100 @ A1	^{date:} May 17
drawin	^{g number:} 17/029/Pl	L03
78 I BAT WES EH4 TEL: FAX:	RDIE ASSOCI Hopetoun Street Hgate St Lothian 48 4PD - 01506 633979 - 01506 634656	-
О СОР	YRIGHT - HARDIE ASSOCIATE	ES LTD



MAINTENANCE SCHEDULE

SILT TRAP MANHOLE Required action:

Inspect for evidence of poor operation Inspect sediment accumilation rates and establish appropriate removal frequencies Litter/silt debris removal

Frequency

Six monthly

As required

Frequency:

As required

As required

As required

Half yearly

Monthly

Six monthly thereafter

As required/monthly

Monthly during first half year of operation

FILTER TRENCH

Required action: Litter, silt & debris removal from access chambers Remove trees or tree roots that grow close to trench Clear perforated pipework of blockages Clean and replace filter media Inspect inlets/outlets for blockages, clogging, standing water and structural damage Inspect pre-treatment systems for silt accumulation

	Surface Water Manhole Schedule							
Manhole Reference	Manhole Cover Level	Manhole Invert Level	Depth of Manhole	Manhole Diameter	Manhole Type	Adopted/ Private	Owner	
SWMH 1	164.215	162.865	1.350	1.2m	В	Adopted	Scottish Water	
SWMH 2	163.084	161.734	1.350	1.2m	В	Adopted	Scottish Water	
SWMH 3	161.663	160.387	1.276	1.2m	В	Adopted	Scottish Water	
SWMH 4	161.560	160.303	1.257	1.2m	В	Adopted	Scottish Water	
SWMH 5	164.122	162.772	1.350	1.2m	В	Adopted	Falkirk Council	
SWMH 6*	162.664	160.642	2.022	1.2m	Silt trap	Adopted	Falkirk Council	
SWMH 7	161.900	160.500	1.400	1.2m	В	Adopted	Falkirk Council	
SWMH 8*	161.662	160.562	1.100	1.2m	Silt trap	Adopted	Falkirk Council	

* - Denotes IL of manhole is 300mm below given level, refer to details.

	Foul Water Manhole Schedule						
Manhole	Manhole Cover	Manhole Invert	Depth of	Manhole	Manhole	Adopted/	Owner
Reference	Level	Level	Manhole	Diameter	Туре	Private	
FWMH 1	164.378	163.028	1.350	1.2m	В	Adopted	Scottish Water
FWMH 2	163.043	161.693	1.350	1.2m	В	Adopted	Scottish Water
FWMH 3	161.627	160.277	1.350	1.2m	В	Adopted	Scottish Water
FWMH 4	161.430	159.924	1.506	1.2m	В	Adopted	Scottish Water

1	- Dropped Kerb at pedestrian crossing/access, reler to detail.			
G 🖂	- Surface water gully, refer to detail.			
	- Proposed surface water pipe. Type, gradient and diameter as noted on plan			
<u> </u>	- Proposed foul water pipe. Type, gradient and diameter as noted on plan			
	- Existing surface water pipe.			
SWMH1	- Existing foul water pipe.			
	- Proposed surface water manhole and reference, refer to schedule and detail.			

- Proposed foul water manhole and reference, refer to schedule and detail.
- Proposed surface water inspection chamber, refer to detail.

DOQUET
This is a Plan/True copy of the Drawing referred to in the application for Building Warrant.
Dated
Signed For and on behalf of WMA

Drawing Status						
uma						
Consulting Civil and Structural Engineers Station Masters Office, Dalmeny Station, Station Road, South Queensferry, Edinburgh, EH30 9JP Tel 0131 319 1911 Fax 0131 319 1933 e-mail office@wma-sq.co.uk						
Drawn By S Corah	Date December 2009	Chkd By D Bailie	Date December 2009	Sheet size A1		
Drawing Numbe	Scale 1:200 Revision					
	F					

Existing spot heights, contours, drainage levels and existing foul water drainage layout taken from TBB Architecture drawing No. 4859/01

Sewer note 19 removed and 7 altered. H&S note 7 added. 25.10.2010 SC .

E |End of main road parking revised.

revised. Gully moved.

Client

Mr Paterson

Project Title

Falkirk

Drawing Title

House 1 disconnectors moved.

Standburn, nr Calzieveg

D Drainage positions altered following comments from

Scottish Water. Schedule updated to suit incl MH ownership MH Schedule and pipe gradients on plan updated.

visitor p/bays amended. All filter trench dimensions altered. Flow control device in SWMH7 removed. SWMH4 IL

Horizontal curve radii altered on road. Pinch point altered.

Revision

Main filter trench dimensions altered. SWMH1 lowered.

Proposed Housing Development

Road and Drainage Layout & Notes

28.07.2011 | SC |

13.04.2011 SC

21.01.2011 SC

03.02.2010 SC

Date By Cko

DS1 and ACEC Class AC-1.

All manhole foundation concrete to be to design sulphate Class

findings of the site investigation carried out by Aitken Laboratories Ltd, a copy of which is available on request.

personnel working on the site should observe health and safety measures normally applied on brown field sites and should wear suitable protective clothing (gloves, boots and overalls etc). 7. Contractors working on site should observe health and safety measures outlined in the

appropriate permit is obtained. 5. Noise should be kept at a minimum where practical. 6. It should be noted that due to levels of contaminants on the site, contractors and utility

3. Public areas within the vicinity of work should be kept free from water, oil, mud, dust 4. Public roads are not part of the developers work site and must not be used for stockpiling materials and storing plant, vehicles, equipment or materials unless the

competent in road/drainage construction. b. It's user/s, once all construction is completed according to these drawings provided they adhere to the maintenance schedule set by WMA. 2. All works affecting public roads/drainage shall be carried out as to ensure public safety.

- a. Construction workers provided they have had sufficient experience and are
- HEALTH AND SAFETY NOTES 1. The layout and design of all aspects described in this drawing poses no unexpected risk
- during construction.

prior to commencement of works 4. When exposed, provision must be made for keeping the formation free from water. 5. The contractor is responsible for ensuring the existing road furniture is not damaged

- comply with class 6F1 on table 6/1, compaction using method 6 on table 6/4, as described in "specification for highway works" by the Department for Transport. 3. Contractor should ensure all the applicable road construction consents are obtained
- 2. Excavation and backfilling in streets to be carried out in accordance with the relevant Highway Authority requirements. When excavating, any soft spots and organic or deleterious material to be removed and filled in with well compacted granular material to
- a. Local council Roads Department, where applicable. b. Local council Road Development guide, if available. c. Design standards e.g. British and European Standards, Scottish Office Technical Memoranda (DMRB) and Transport and Roads Research Laboratory papers (TRRL).
- diameter and laid at a gradient of min 1:150. ROAD NOTES 1. All works to be carried out in accordance with the following:
- 20. All surface water drains from property disconnecting chambers shall be 150mm
- and laid at a gradient of min 1:60 and max 1:10.
- 19. All foul water drains from property disconnecting chambers shall be 150mm diameter
- Department for Transport. 18. Particular attention is drawn to Sewers for Scotland 2nd Edition Part 5 - Civil Engineering Specification.
- granular material to comply with class 6F1 on table 6/1, compaction using method 6 on table 6/4, as described in "specification for highway works" by the
- organic or deleterious material to be removed and filled in with well compacted
- 17. Excavation and backfilling in streets to be carried out in accordance with the relevant Highway Authority requirements. When excavating, any soft spots and
- 1917 and BS 5911-3. Highways Agency 'Guidance Document HA 104/02'. They shall be of a non-rocking design, which does not rely on the use of cushion inserts. 16. Class D400 covers to be used in all types of carriageways, hard shoulders and parking areas.
- 12. Vitrified clay pipes, joints and fittings shall comply with BS EN 295 and BS 13. P.C. concrete chamber sections and components shall comply with BS EN 14. Plastic chambers and rings shall comply with BS 7158 or BS EN 13598-1. 15. Manhole covers and frames shall comply with BS EN 124, BS 7903 and
- 10. Ductile iron pipes, joints and fittings shall comply with BS EN 598. 11. Concrete pipes, joints and fittings shall comply with BS EN 1916 and BS
- 9. uPVC pipes, joints and fittings for gravity sewers shall comply with BS 4660 and BS EN

8. No trees or shrubs to be planted above, and 1m either side, of a drainage pipe. Refer to Sewers for Scotland 2nd Edition appendix VII for detail.

Pipe protection to be provided if this cannot be achieved, refer to details.

i. Any other relevant regulations or acts. Refer to Sewers for Scotland 2nd Edition appendix V for a complete list. 2. For layouts and details of internal drainage refer to Architects drawings.

h. Health and Safety at Work etc., Act 1974

Benching to be finished as shown on detail.

2nd Edition appendix I, II, III & VI for a complete list.

GENERAL NOTES

SEWER NOTES

e. BS EN 752:2008 Drain and Sewer Systems Outside Buildings.

d. Civil Engineering Specification for the Water Industry 5th Edition, by WRc.

3. If required, the contractor shall arrange for all service cut-offs and written confirmation

5. Where pipes of varying diameters join in a manhole, the soffits must be level. Unless

6. Concrete in manhole bases and benching to be grade C21 with 40mm max aggregate.

7. Pipes to have 1200mm cover in landscaped areas, 1500mm cover in trafficked areas.

the manhole is of a silt trap or flow control type, in this case, refer to details.

shall be obtained from each utility authority prior to commencement of proposed works. 4. Contractor to confirm type and manufacturer of proposed sewer pipes to Scottish Water

f. Any other relevant standard, guidance or Authority. Refer to Sewers for Scotland

1. All works to be carried out in accordance with the following: a. Sewers for Scotland 2nd Edition.

b. Local council floods and roads department, where applicable.

1. This drawing is the sole property of WMA and must not be reproduced or digitally

5. Any discrepancies noted between Architect's and Engineer's details regarding any materials, form or dimensions shall be brought to the notice of the Architect and Engineer.

4. This drawing to be read in conjunction with all relevant Architects drawings.

3. All dimensions are approximate and must be confirmed on site prior to work commencing.

copied/altered without the written permission of WMA.

6. For road setting out refer to drawing No. D1267-102.

7. For road and drainage details refer to drawing No. D1267-103.

2. Do not scale this drawing - if in doubt ask.

g. CDM Regulations 2007

for approval prior to ordering.

c. To the satisfaction of Scottish Water.



Residential Development Land East of Calzieveg Standburn

3D perspectives

May 2017









PLOT 2









W.Simpson (w Simpson, BSc, MSc, CEng, MICE, MIHT, FG)

CHARTERED CIVIL AND MINING ENGINEERS

Tel/Fax: 01786 833562

55 Westerlea Drive Bridge of Allan Stirling FK9 4DQ

MINING RISK ASSESSMENT REPORT

FOR SITE TO THE NORTH-EAST OF

STANDBURN VILLA, STANDBURN, FALKIRK

Client:

Dee Green 5 Milne Drive Redding Falkirk

Report No: 4094/IS

Engineer: W. Simpson

FK2 9GT

Issued: 03 August 2017

W. SIMPSON CIVIL AND MINING ENGINEER COAL MINING RISK ASSESSMENT REPORT FOR SITE TO THE NORTH-EAST OF STANDBURN VILLA, STANDBURN, FALKIRK

2. CONTENTS.

1

- ITEM DESCRIPTION
- 1. TITLE PAGE
- 2. CONTENTS.
- 3. SCOPE OF STUDY.

PAGE NO

2

3

3

DESK STUDY. 4. 5. GEOLOGY, FAULTS. 6. SHAFTS AND ADITS. 7. 8. **OPEN-CAST MINING** 9. REMEDIAL WORKS. 10. PAST WORKINGS. GAS EMISSIONS. 11.

4

4

5.

5

6

7.

8.

10.

- 12. PRESENT,
- 13. FUTURE.

15.

- 14. MINING STABILITY ASPECTS.
 - CONCLUSIONS.

APPENDIX.

APPENDIX 1 – SOLID GEOLOGY OF SITE AREA.

APPENDIX 2 – PLAN SHOWING WORKINGS IN THE UPPER DRUMGRAY COAL.

APPENDIX 3 – PLAN SHOWING NO BUILD ZONE AROUND OLD SHAFT. 9.

.

APPENDIX 4 – METHODS OF MINING.

Report No 4094/IS

Page 2

Date 03/08/2017